

The Grant Home Sites - Boyhood Home

219 E Grant Ave, Georgetown, Ohio

Prepared for:

The Ohio History Connection
800 E 17th Ave, Columbus, Ohio 43211



ARCHITECTURE. INSPIRED.

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2800 Corporate Exchange Dr #270
Columbus, OH 43231

Drawing Issue Dates

Schematic Design Submittal
2/28/2025

Design Development Submittal
5/2/2025

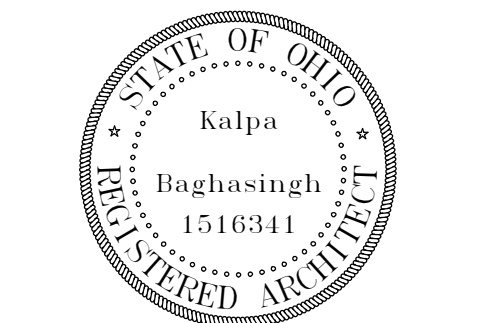
90% Construction Documents
6/20/2025

Bid Set / Permit Set
7/9/2025

Revision Schedule		
#	Description	Date

Grant Home Sites
- Boyhood Home

219 E Grant Ave,
Georgetown, OH 45121



Kalpa Baghasingh, License #1516341
Expiration Date 12/31/2025

Cover Sheet

General

G000

7/9/2025

24240

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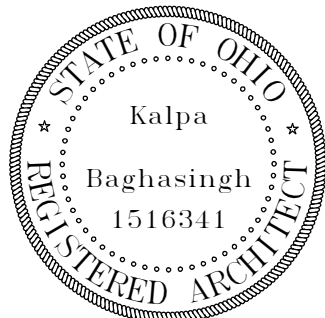
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Index and Symbols

General

G001

7/9/2025

24240

Drawing Index

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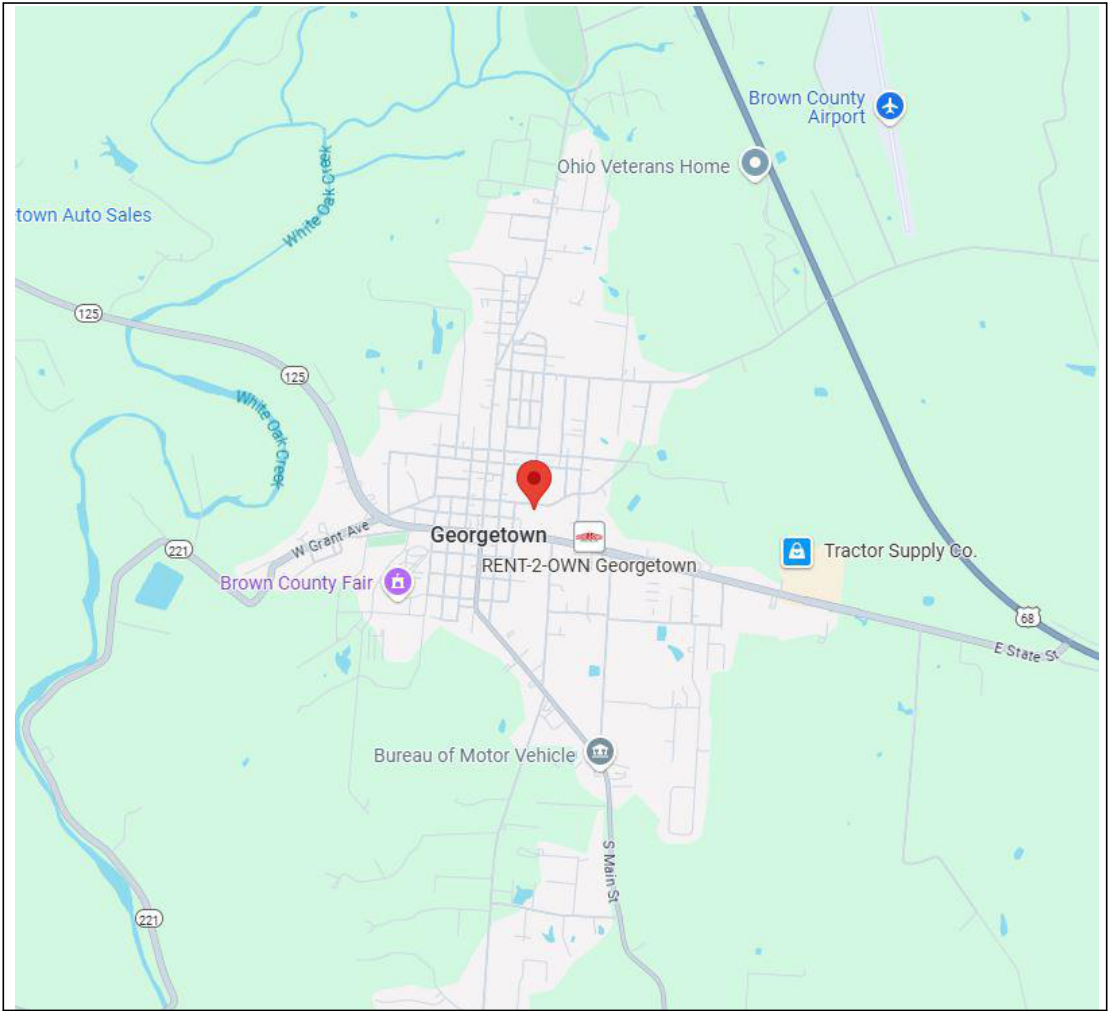
General Notes

- Schedules:
Partition Type Schedule see drawing A020.
Exterior and Interior Window and Louver Schedule see drawing A600.
Door and Frame Schedule see drawing A610.
- All dimensions shall be verified at the job by the General Contractor and each Sub-Contractor and the Architect must be notified of any discrepancies before proceeding with the work.
- All dimensions are to the face of finish, face of concrete, face of masonry, to centerlines of columns and other grid points, and to centerlines of doors and other scheduled openings unless otherwise noted.
- All door locations not dimensioned are located by details * /A800 and * /A800 respectively for framed and masonry walls.
- Access door locations are noted on the drawings. Actual size, location, and quantity may vary upon field conditions. Verify and coordinate locations and quantity required with the appropriate contractor(s).
- Offset studs and/or shim as required to align finish material.
- All housekeeping pads and curbs shall be furnished and installed by the general (lead) contractor. Verify with appropriate contractor(s) for required size and location.
- All floor drain (F.D.) elevations are 1/2" lower than finished floor elevation unless otherwise noted.
- All vertical elevations and working points are given with reference to level one finish floor elevation 100'-0" datum.
- The drawings are the graphic portion of the contract documents showing the design, location, and dimensions of the work. Do not scale the drawings to determine a dimension in question, consult the architect for clarification.
- Contractor(s) are to investigate and verify location, condition, and capacity of all existing utilities within the limits of work, prior to beginning construction. See site utility, mechanical and electrical drawings for further information.
- The structure is designed to be self-supporting and stable after the building is fully completed. It is solely the contractor(s) responsibility to determine erection procedures and sequences and to ensure the safety of the building and its component parts during erection, including the addition of shoring, sheathing, temporary enclosure, etc. It is the contractor(s) sole responsibility to follow all applicable safety and construction regulations, ordinances and codes during the course of construction.
- OHC archaeologist must be on site for any ground disturbance. Any ground work requiring the presence of an archaeologist requires 1-week advanced notice.

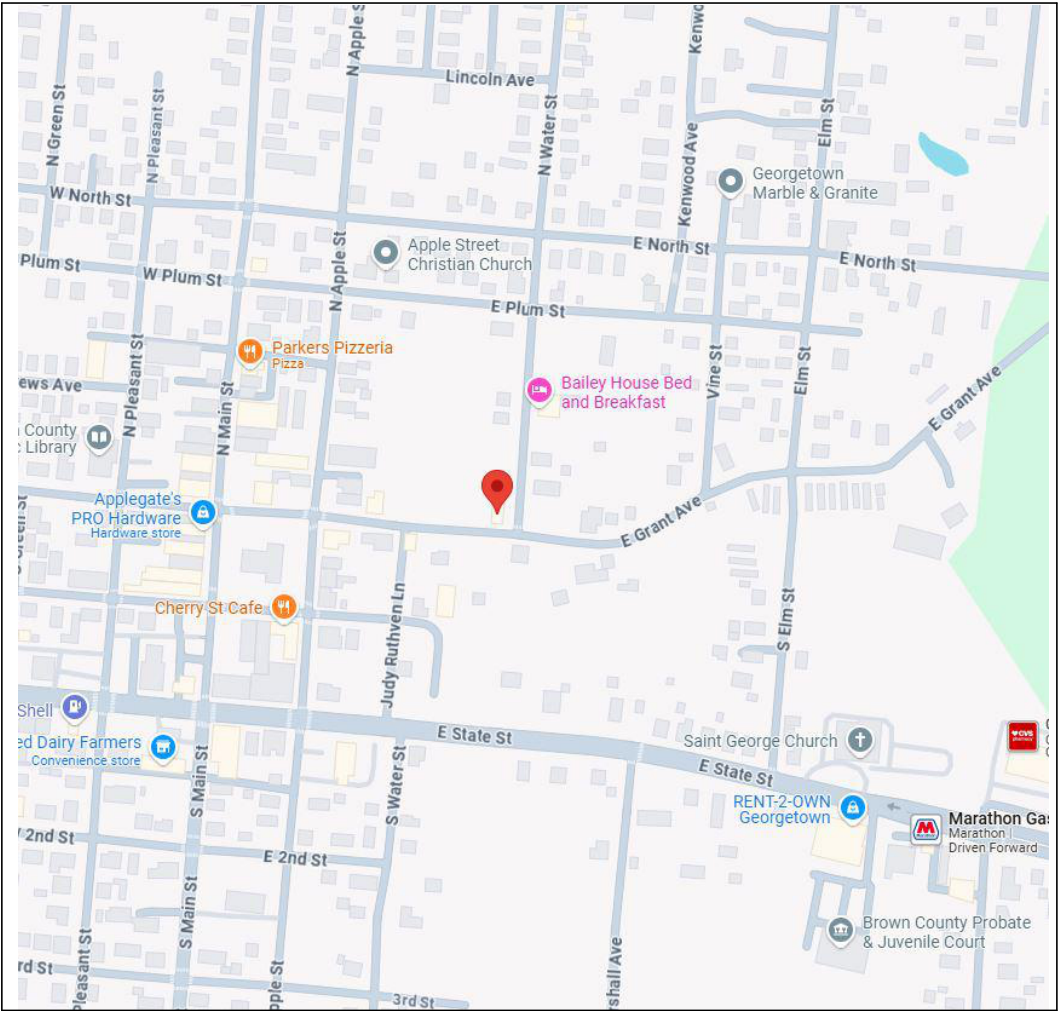
REMODELING NOTES

- The coursing of all masonry to match that in existing building.
- Contractor to verify all dimensions and profiles of stone at the site.
- Fill any masonry voids with mortar or concrete where anchors occur.
- Provide lintels over all openings including those req'd for ductwork, pipes, louvers, grilles, dampers, etc.
- Coordinate locations and/or elevations of floor drain, registers, access panels, grilles, louvers, convectors, cabinet unit heaters, panels, etc., with mechanical and electrical contractors. Size and location of all floor openings to be verified with trade affected before proceeding with work.
- Bolting of wood to structural members or masonry shall be in general with a minimum of 1/2" bolts @ 4'-0" O.C. except where shown otherwise. Situations requiring special bolting shall be with the size and spacing of bolts to suit the conditions.
- In any room in which plumbing, heating, or electrical alterations are made: the General Contractor shall make proper repairs to other building items affected; i.e. floors, walls, ceilings, base, chair rail, trim, etc. In general, new materials and materials for repair conditions shall match similar items in quality, detail, profile and finish as those already built into the work.
- All shaded walls appearing on reflected ceiling plans are to extend to underside of structure above.
- All walls of all rooms with exposed structure ceilings shall be with the size and spacing of bolts to the structure.
- All concrete curbs and equipment pads shall be furnished by the General Contractor and sized and located by the contractor installing the equipment.

Vicinity Map



Area Map



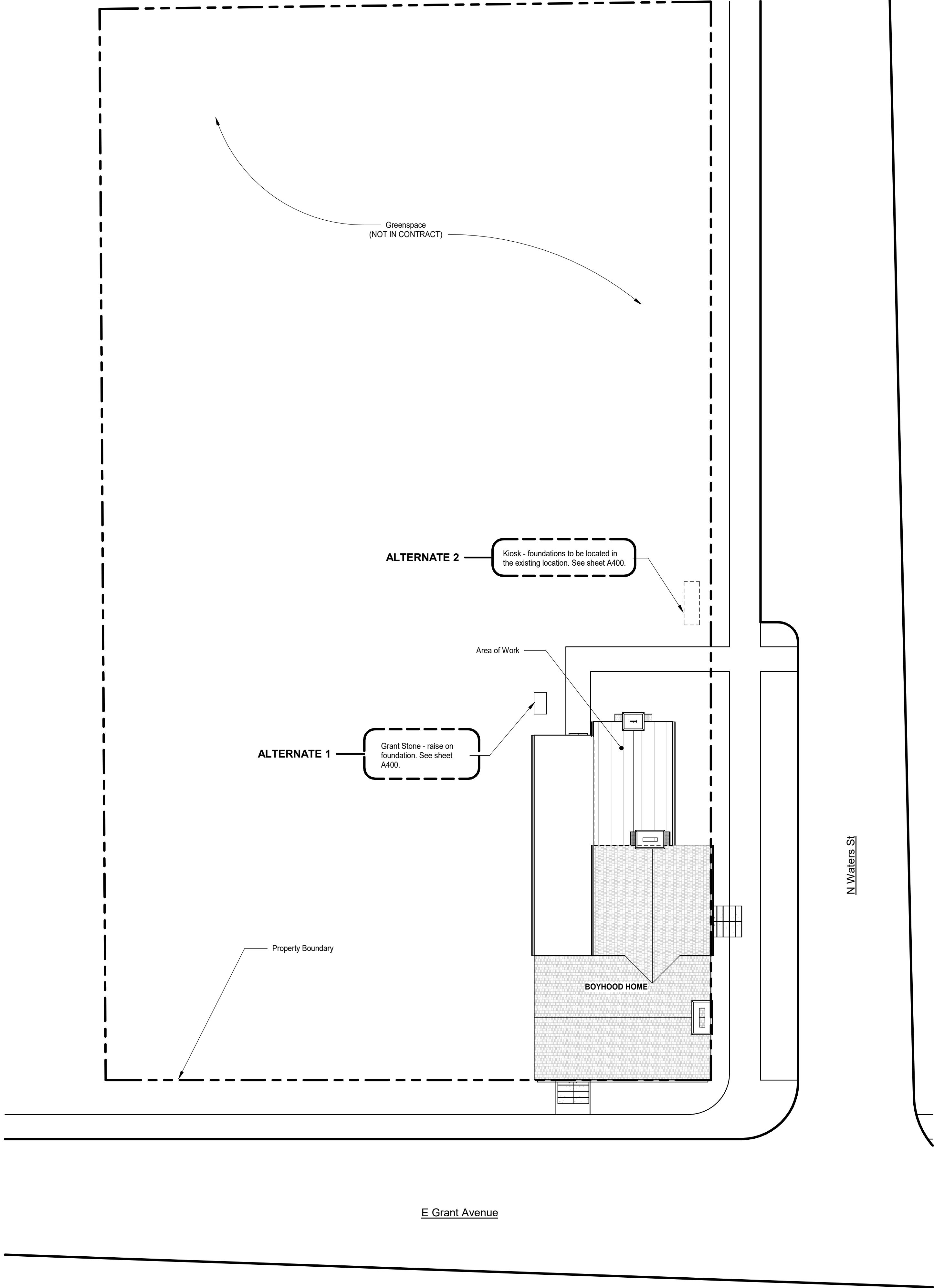
FLOOR AREA AND OCCUPANCY

AREA, USE, AND OCCUPANCY			
LEVEL	GROSS AREA	USE GROUP	CALCULATED OCCUPANCY
FIRST FLOOR	1,500 SF	B	-
SECOND FLOOR	920 SF	B	-
TOTAL	2,420 SF	B	-

TOTAL BUILDING GROSS SQUARE FOOTAGE: 2,420 SF
DESIGN OCCUPANT LOAD (PER OBC TABLE 1004.1.1): 0 OCCUPANTS

CODE DATA - SYMBOL LEGEND

HFB	HOUR FIRE BARRIER
HFH	HOUR FIRE WALL
HFS	HOUR FIRE SEPARATION
	USE AND OCCUPANCY: A-3 and A-5, ASSEMBLY 15 NET SQ FT PER OCCUPANT
	USE AND OCCUPANCY: B, BUSINESS 100 GROSS SQ FT PER OCCUPANT
	EGRESS
	ONE (1) HOUR FIRE BARRIER (HFB) COMPLY WITH UL FIRE ASSEMBLIES
	TWO (2) HOUR FIRE BARRIER (HFB) COMPLY WITH UL FIRE ASSEMBLIES
	TWO (2) HOUR FIRE SEPARATION (HFS) COMPLY WITH UL FIRE ASSEMBLIES
	THREE (3) HOUR FIRE WALL (HFW) COMPLY WITH UL FIRE ASSEMBLIES
	PATH OF EGRESS
	COMMON PATH OF TRAVEL
	EGRESS EXIT
	ADA ACCESS OR ADA DWELLING UNIT
	OCCUPANT LOAD SIGNAGE
	NEW FIRE EXTINGUISHER
	NEW FIRE EXTINGUISHER CABINET, RECESSED IN WALL
	TOLIET



3 Architectural Site Plan
1" = 10'-0"

CODE DATA - 2024 OHIO BUILDING CODE

PROJECT SUMMARY:

Base Bid
THE PROJECT IS THE RESTORATION OF THE KITCHEN IN THE GRANT BOYHOOD HOME TO A HISTORIC KITCHEN. NO WORK TO THE ADJACENT DOCENT OR RESTROOM AREAS. HISTORIC FURNISHINGS AND ACCESSORIES ARE FOR AESTHETIC APPEARANCE ONLY AND WILL NOT BE FUNCTIONAL AS A KITCHEN. THE EXISTING FIREBOX BLOCK WILL BE REPLACED WITH HISTORIC BRICK AND WHITEWASHED, ALONG WITH THE SURROUND. THE EXISTING CHIMNEYS ARE NOT USED.

Alternates
ALTERNATE 1 - RAISE GRANT STONE ONTO CONCRETE PAD, UNDER ADDED EXTERIOR KIOSK.

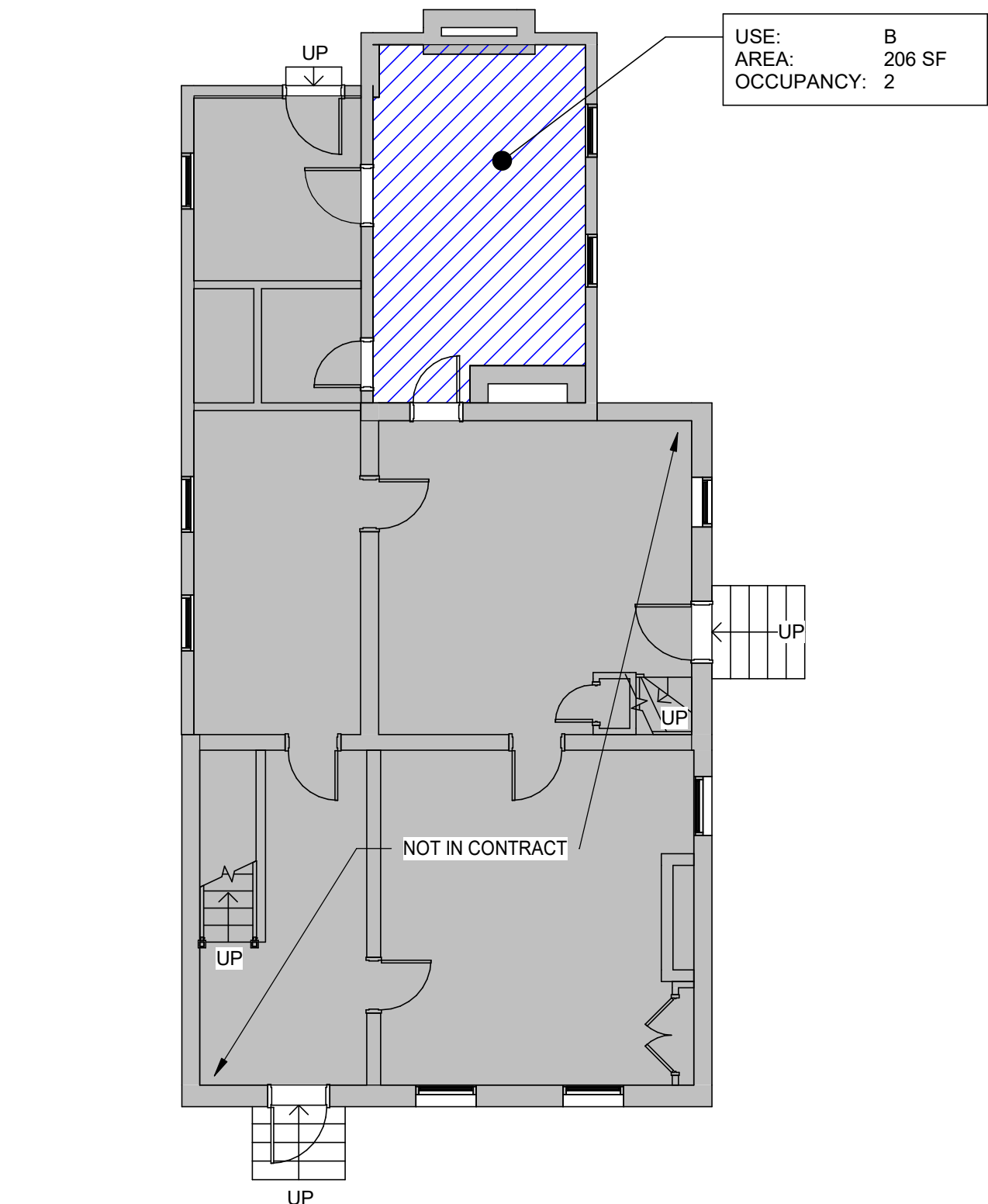
ALTERNATE 2 - FOUNDATIONS AND FRAMEWORK FOR EXTERIOR INTERPRETATION KIOSK TO BE LOCATED SAME AS EXISTING.

ALTERNATE 3 - REGLAZE TWO EXTERIOR WINDOWS WITH REPRODUCTION ANTIQUE GLASS.

APPLICABLE CODES:

ZONING:	Village of Georgetown – Chapter 150 Base Zoning:	MIXED USE
	Parcel ID's:	33-068936.0000
BUILDING CODE:	OAC 4101:1 (1-35)	2024 – Ohio Existing Building Code, Level 1 Alteration, Historic Building

CLIMATE ZONE (IECC C301.1): 4A Brown County	
USE AND OCCUPANCY CLASSIFICATION: OBC 304.1: B, BUSINESS (MUSEUM USE WITH OCCUPANT LOAD OF LESS THAN 50 PERSONS)	
GENERAL BUILDING HEIGHTS AND AREAS: OBC TABLE 504.3 ALLOWABLE HEIGHT: TYPE V-B CONSTRUCTION 2 STORIES ALLOWABLE AND 40' HEIGHT 2 STORIES ACTUAL AND 30'-10" HEIGHT ACTUAL	
OBC TABLE 506.2: BUILDING AREA: TYPE V-B CONSTRUCTION 9,000 SF FLOOR ALLOWABLE 2,420 SF FLOOR ACTUAL	
TYPE OF CONSTRUCTION: OBC TABLE 601: TYPE V-B CONSTRUCTION STRUCTURAL FRAME: 0-HOURS BEARING WALLS, EXTERIOR: 0-HOURS BEARING WALLS, INTERIOR: 0-HOURS NON-BEARING WALLS AND PARTITIONS: 0-HOUR FLOOR CONSTRUCTION: 0-HOURS ROOF CONSTRUCTION: 0-HOURS	



2 First Floor - Code Analysis
1/8" = 1'-0"

SCHOOLEY
CALDWELL

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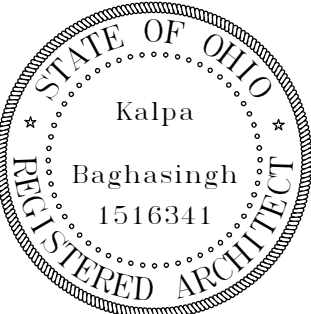
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Code Analysis

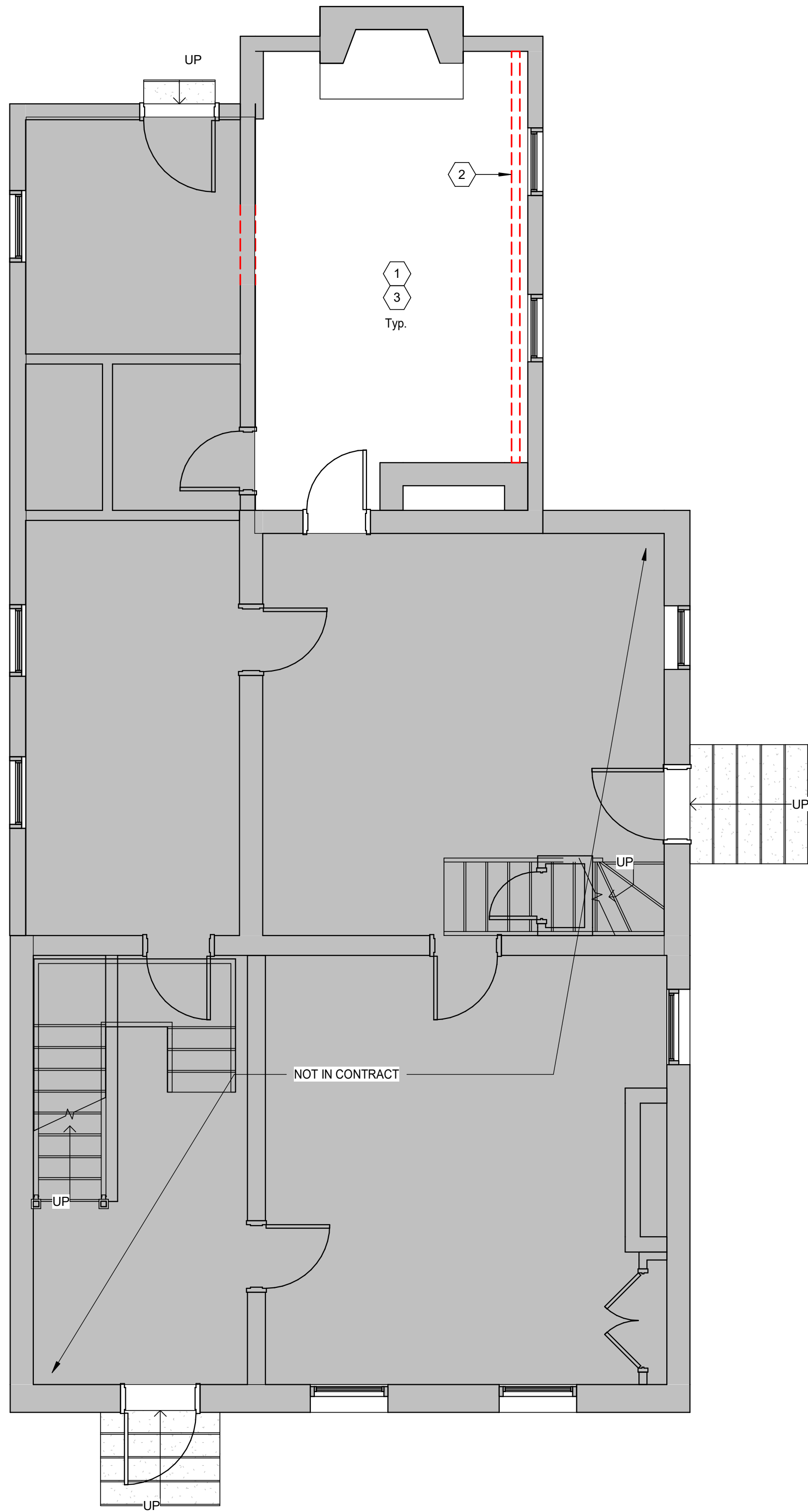
General

G002

7/9/2025

24240

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7/8/2025 6:37:37 PM



1 First Floor Demolition Plan
1/4" = 1'-0"

DEMOLITION - GENERAL NOTES

- A. Refer to G001 for all general notes.
- B. The purpose of the Demolition Work is to selectively demolish and/or remove existing building assemblies to accommodate the new work.
- C. The demolition plans represent general sizes, locations, and configurations of building elements. The drawing scale indicated is approximate and must be field verified.
- D. Extreme care shall be taken to ensure that all remaining building fabric shall not be damaged during the work. Protect all items including plaster, glass, floor, walls and decorative elements.
- E. Remove all ties, connections or support systems to be removed or that have already been removed, unless noted otherwise.
- F. Cover, protect, and clear free of debris all historic flooring.
- G. Refer to specifications and hazardous material report for information regarding hazardous materials abatement.
- H. Objects shown as dashed lines on this sheet are to be removed and disposed of per Construction Waste Management Plan, UNO.
- I. Consult Owner before discarding removed doors and hardware. Store or discard as directed by Owner.
- J. All shaded walls are to remain.
- K. Where masonry construction is to be removed from construction to remain, separation of the two must be saw-cut.
- L. Where walls are removed from floor slab to remain, remaining slab shall be made flat, smooth, clean and ready to receive new finishes.
- M. Repair/patch openings in walls, partitions, floors and ceilings that are existing or where demolition occurs as necessary to maintain code and fire rating requirements.
- N. Remove all acoustical tile ceilings and finishes. The removal of these ceilings shall also entail the removal of all associated MEP components.
- O. All interior wood trim to remain unless noted otherwise.
- P. All doors shown as dashed are to be removed.
- Q. Remove existing window coverings from all windows including curtain rods, tracks, support devices or other hardware.
- R. Protect all remaining surfaces (floor, wall and ceilings) and finishes (including trim, moldings and fixtures) during demolition and construction.
- S. Contractor to perform a walk-through of the building prior to work commencing to determine extent of building clean-out required.
- T. Restrooms and all toilet fixtures, accessories, etc., are to be removed unless noted otherwise.

Items to be demolished: - - - - -

DEMOLITION - CODED NOTES

- Remove existing crown molding throughout the room.
- Exhibit panel and cases removed by Owner prior to start of work.
- Remove lighting and pull lines back to panel.

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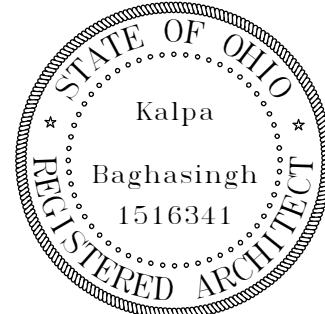
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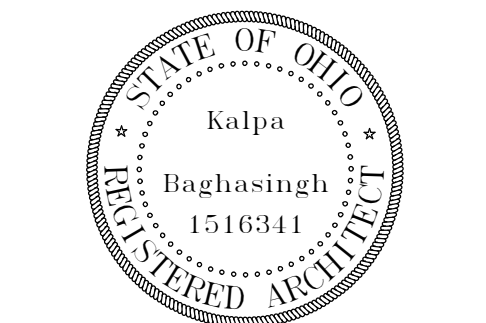
Floor Plan Demolition

Architectural
AD101
7/9/2025
24240

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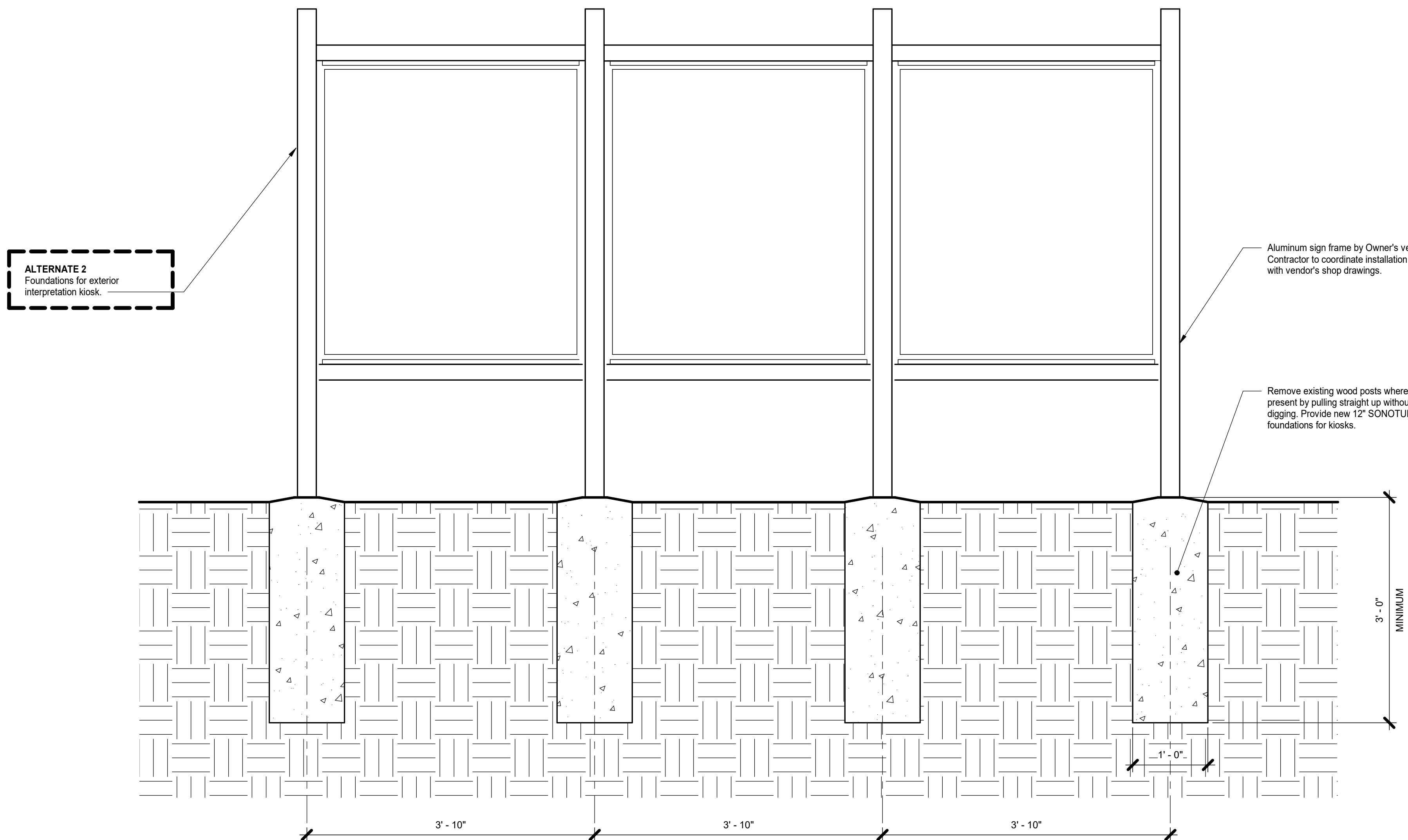
Kiosk Details

Architectural

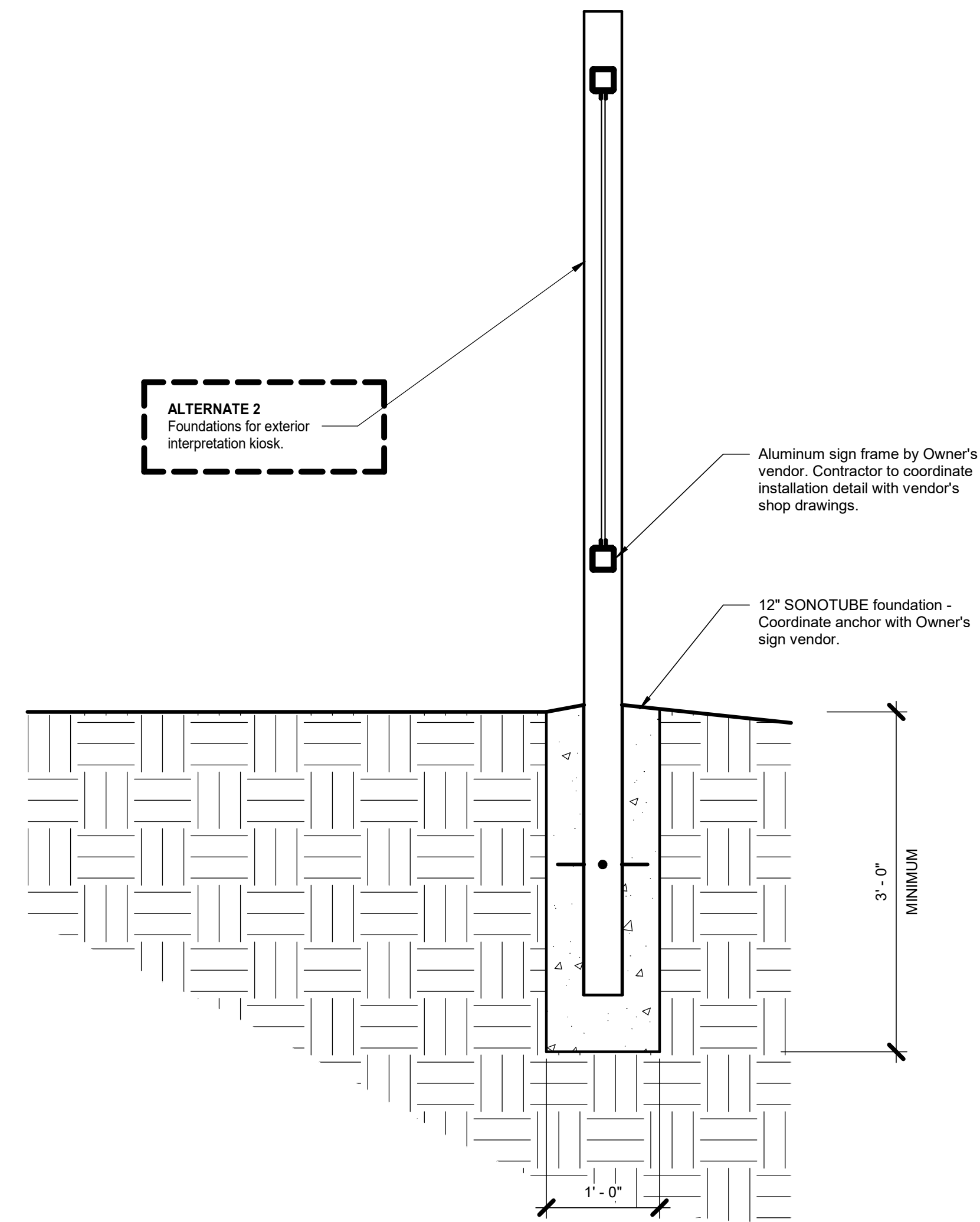
A400

7/9/2025

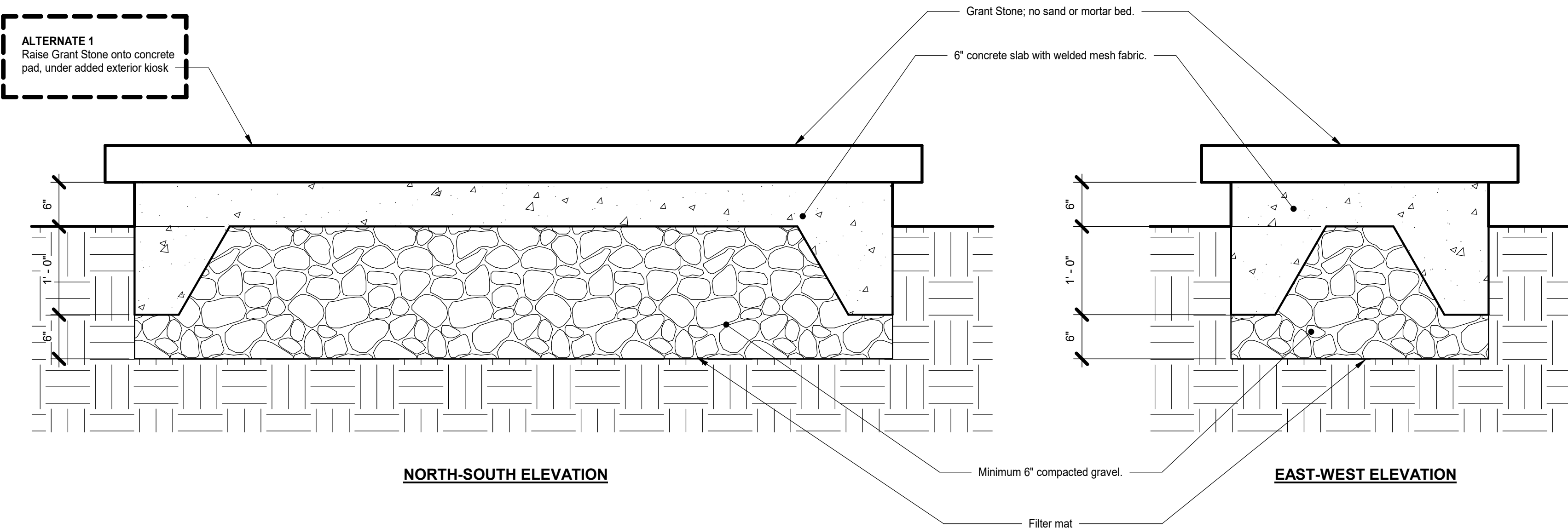
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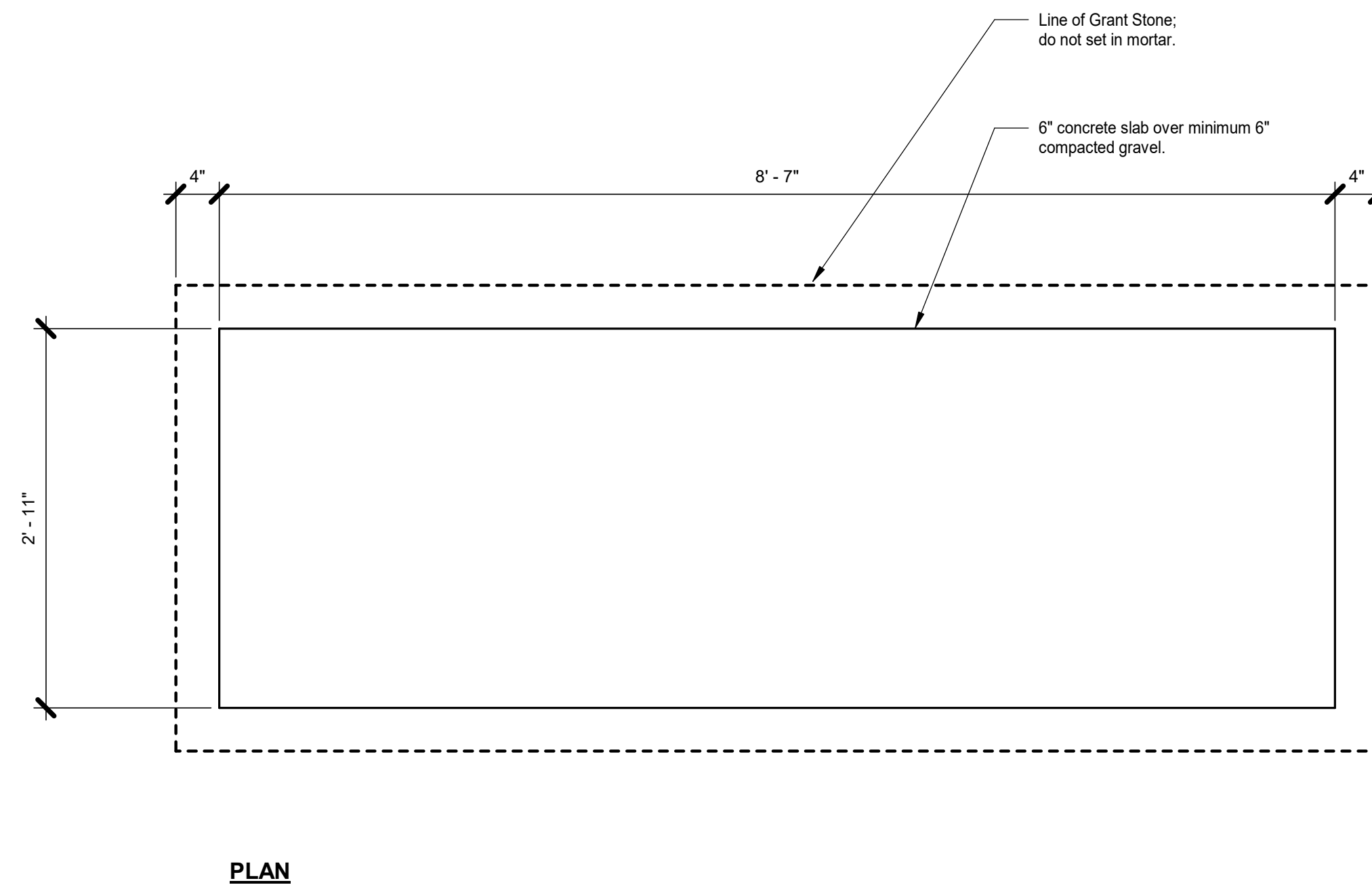
2 Kiosk - Elevation
1" = 1'-0"



3 Kiosk - Detail
1" = 1'-0"



1 Grant Stone - Detail
1" = 1'-0"



4 Grant Stone - Plan
1" = 1'-0"

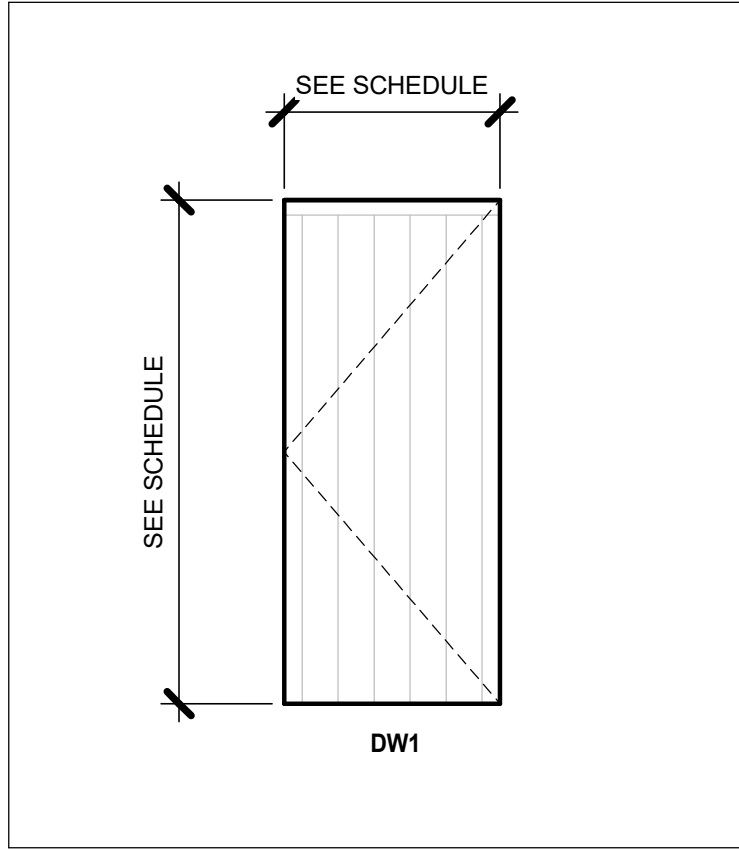
Door & Frame Schedule																
DOOR MARK	TYPE	DOOR				FRAME								HARDWARE	REMARKS	
		SIZE			STATUS	MATERIAL	FINISH	TYPE	STATUS	MATERIAL	FINISH	DETAIL				
		W	H	THK								HEAD	JAMB			SILL
First Floor																
102A	DW1	3' - 0"	7' - 0"	1 3/4"	N	WD			FW1	E	WD					Reproduction hardware to match historic hardware in room
102B	DW18	2' - 6"	7' - 0"	1 3/4"	E	WD			FW1	E	WD					Restore hardware and replace broken latch with latch provided by Owner.
102C	DW18	2' - 6"	7' - 0"	1 3/4"	E	WD			FW1	E	WD					Restore hardware and replace hinges with reproduction hinges provided by Owner.

DOOR NOTES

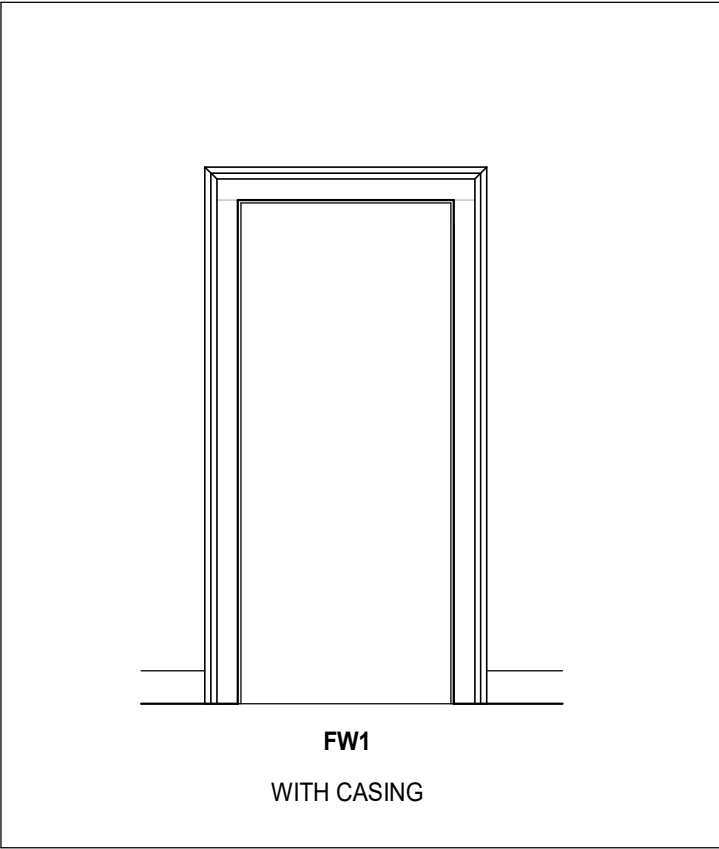
- A. NUMBER:
The door number matches the room number. When more than one door exists per room, the first door is followed with "A", the second door "B", etc.
- B. All doors are to have a 3/4" undercut U.N.O.
- C. STATUS:
N - New
E - Existing
- D. MATERIAL:
WD - Wood
- E. FINISH:
PT - Paint - Shop Prime Only
TR - Transparent Finish
- F. GLAZING:
GL-1 =
GL-2 =
- G. FIRE RATING:
Rating of door in minutes.
- H. HARDWARE SET:
See specifications for description of hardware sets.
- J. ELECTRICAL:
Electrical contractor to provide power to door hardware power supply.
- K. REMARKS:
1. Door and/or hardware will be provided by Owner, contractor to install and finish.

Finish Legend							
KEYNOTE	ITEM	BASIS OF DESIGN MANUFACTURER	BASIS OF DESIGN PRODUCT	COLOR/FINISH	SIZE	EDGE/PROFILE	NOTES
B. Painting - 09 91 00							
PT-1	Wall and Ceiling Paint	Sherwin Williams	-	SW6385/ Dover White	-	-	Flat
PT-2	Woodwork Paint	Sherwin Williams	-	SW6385/ Dover White	-	-	Semi-gloss

STILE AND RAIL WOOD DOOR TYPES



WOOD FRAME TYPES



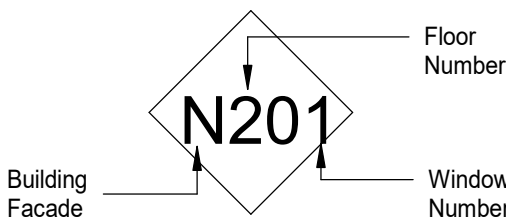
ALTERNATE 3

Window Schedule						
Mark	Height	Width	Type Mark	Sill Height	Level	Comments
E101	4' - 10"	2' - 10"	W1	3' - 0"	First Floor	Existing
E102	4' - 10"	2' - 10"	W1	3' - 0"	First Floor	Existing

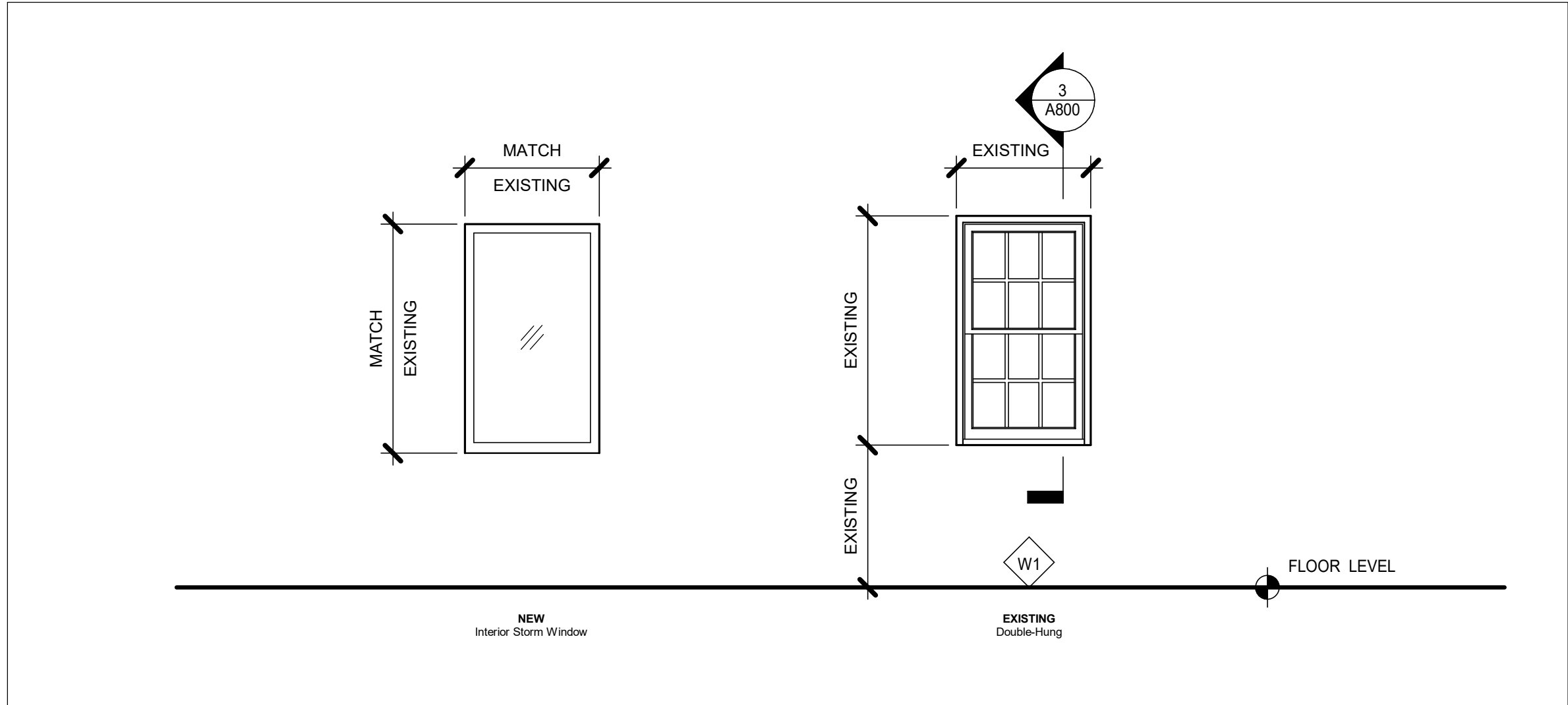
GENERAL NOTES FOR WINDOWS

- A. Contractor to field verify exact configuration of window frames, sash, and trim.
- B. Details shown in these drawings represent the general configurations of the windows based on field observation.
- C. Sizes of window members are approximate. Field measurements were not always possible.
- D. Window details sometimes represent more than one window condition. Slight variations may occur between the actual windows and what is shown in the details.
- E. Window openings shall have protection installed to keep weather out of the building.
- F. Refer to specifications for window hardware schedule.

EXTERIOR NOTES FOR WINDOWS

- NUMBER: see exterior elevations.
- TYPE: see window types below.
- HARDWARE SET: see specifications.
- WINDOW DESIGNATION: Windows are generally numbered per floor and facade. Example:

- SCOPE: The two kitchen windows are to remain. Extent of work will include cleaning and repainting window frame, sash, brick mold, interior jamb extensions, stools, aprons and casings. Reglaze windows with antique reproduction glass to match the rest of the Boyhood Home. New interior storm windows to be installed to match the rest of the Boyhood Home.
- GLAZING: Antique Glass (SELECT - MATCH BOYHOOD HOME)
- While performing work, take care not to damage historic surfaces, such as brick masonry, stone sills, interior plaster, wood floor, etc. Patch and repair as required, any damaged surfaces to match existing.
- Contractor to verify existing conditions at head, jamb and sill prior to planning or beginning any work.
- Provide necessary anchors/fasteners/shims/blocking/reinforcing as required for safe installation of windows.
- Achor/fastener heads at sill must be covered with sealant to ensure a water-tight seal.
- Fill any masonry voids with mortar or concrete where anchors occur.

[085200.1] - WOOD WINDOW TYPES



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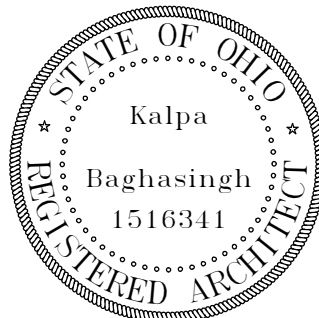
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Window, Door and
Finish Schedules

Architectural

A600

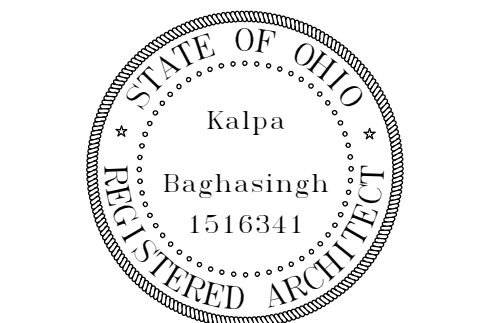
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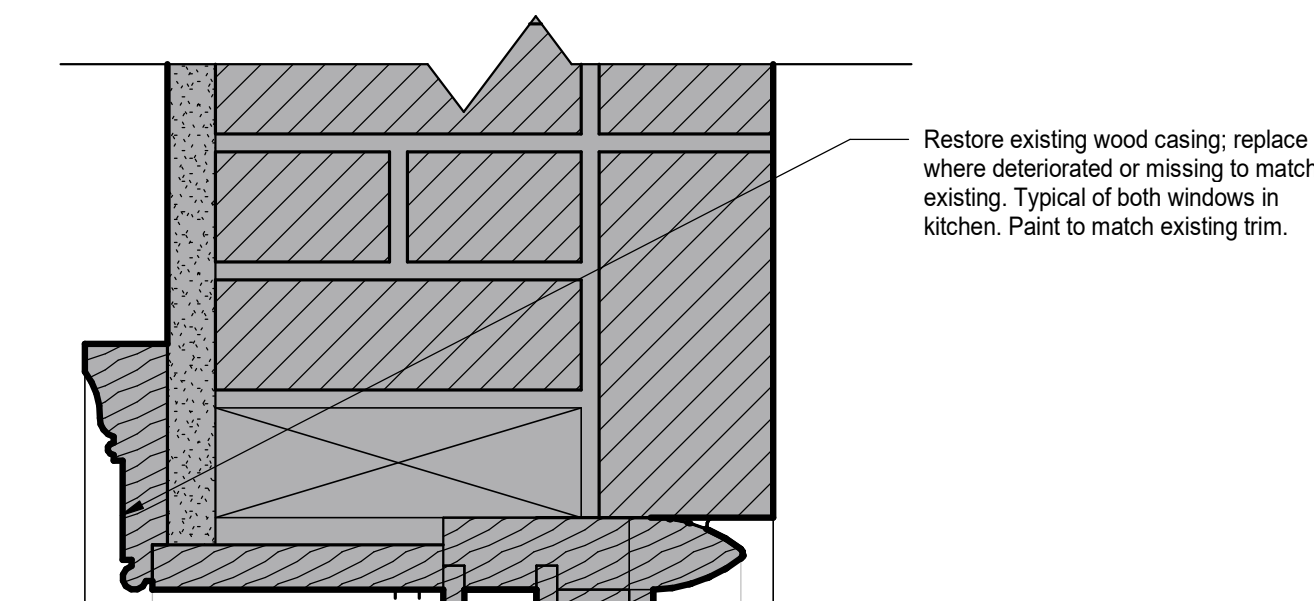
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Interior Details

A800

7/9/2025

24240

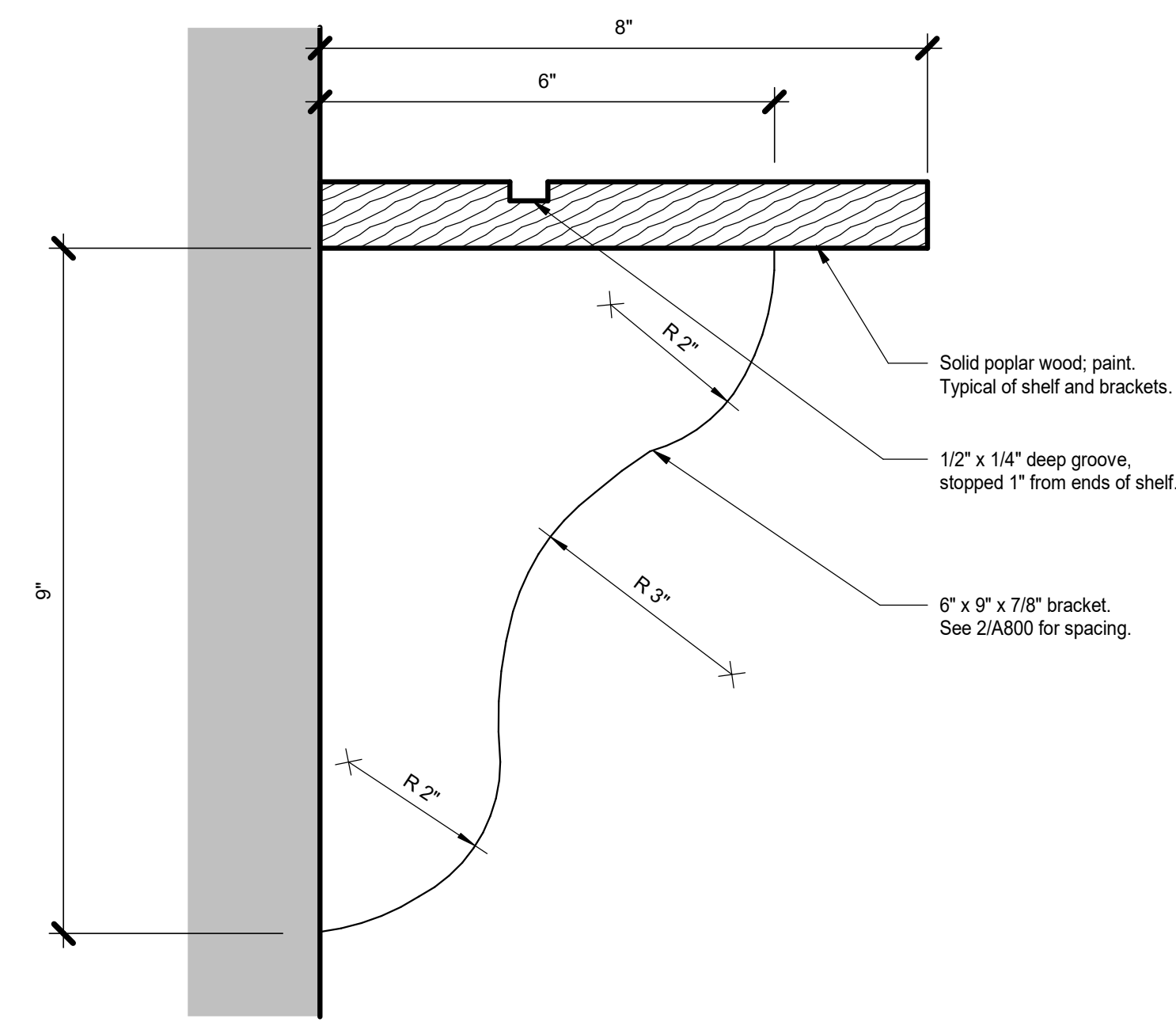


ALTERNATE 3

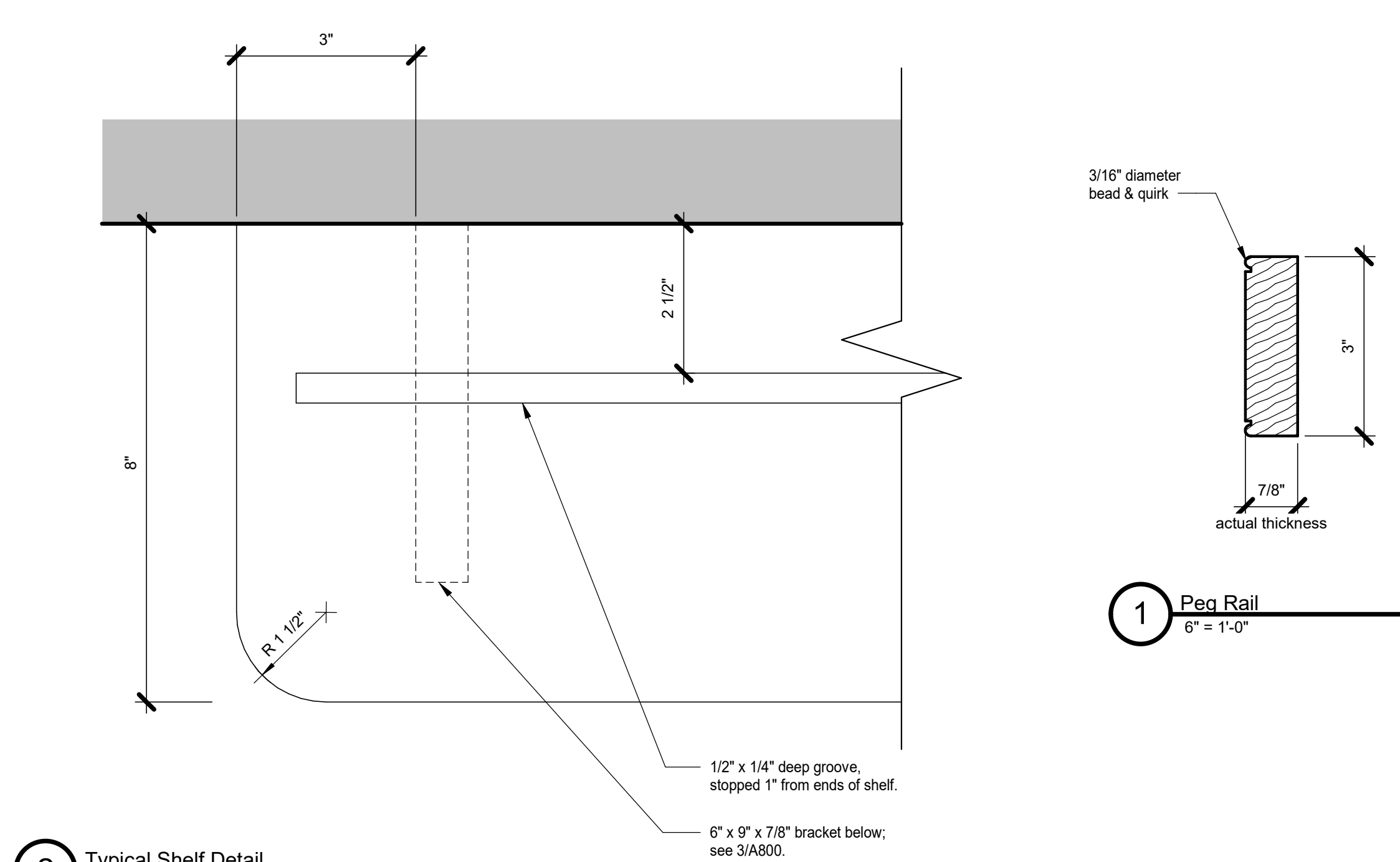
- New interior storm windows to match the rest of the Boyhood Home
- Restore the two existing kitchen windows. Clean and repaint window frame, sash, brick mold, interior jamb extensions, stools, aprons and casings.
- Reglaze windows with antique reproduction glass to match the rest of the Boyhood Home.

EXTERIOR

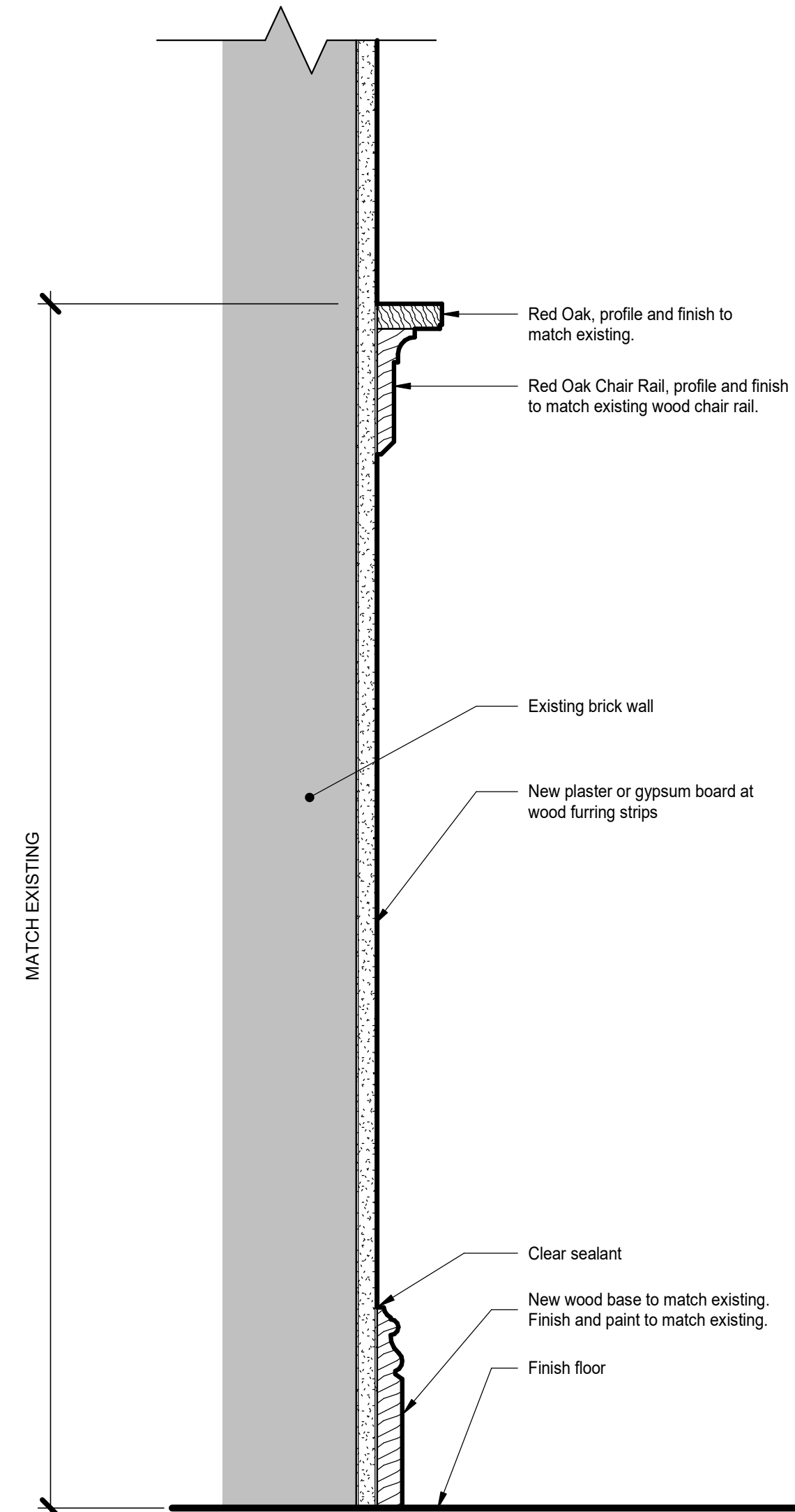
- Restore existing wood chair rail and base at window; replace where deteriorated or missing to match existing. Paint to match existing trim.



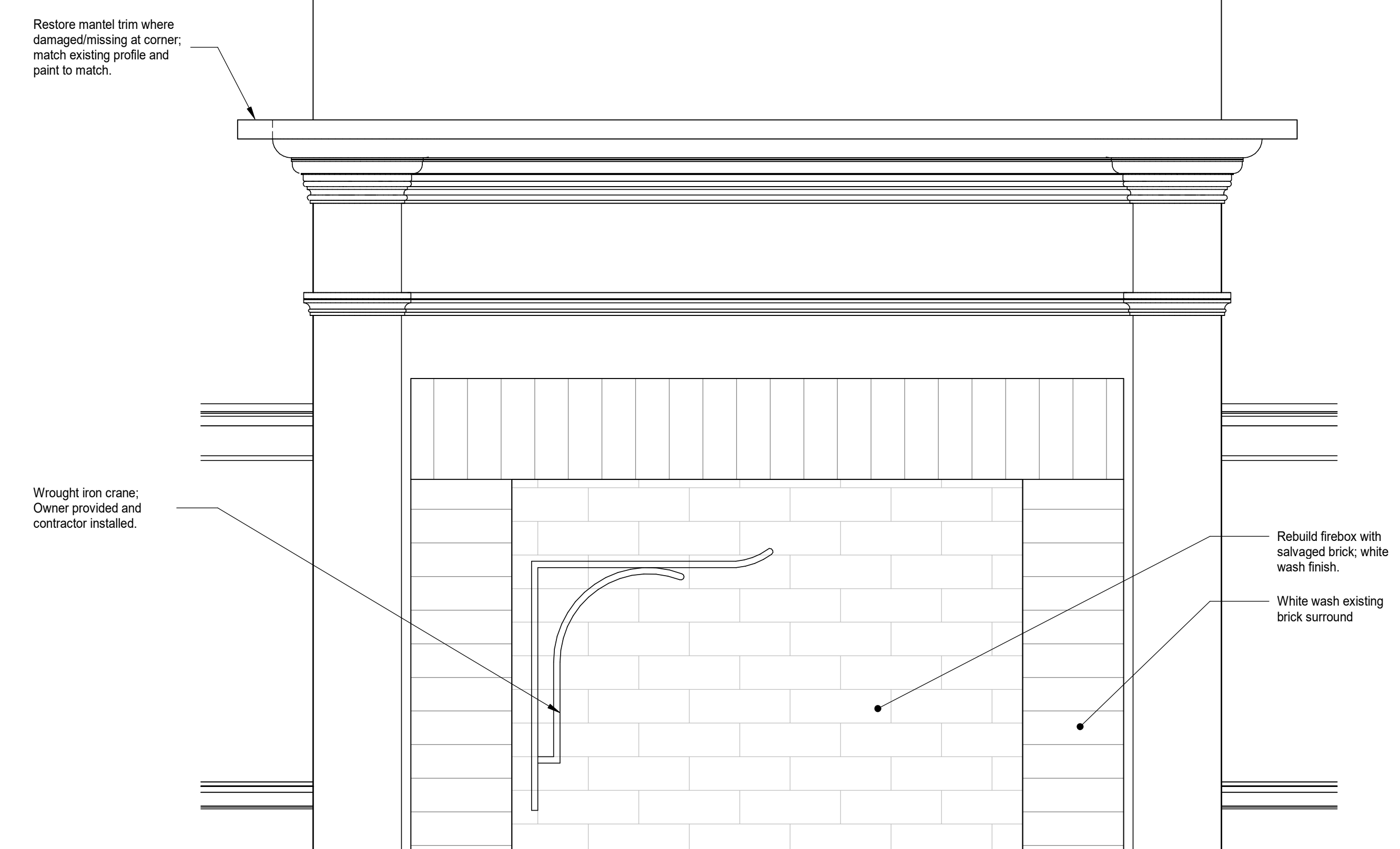
3 Typical Bracket Detail
6" = 1'-0"



2 Typical Shelf Detail
6" = 1'-0"



5 Typical Wainscot Detail
3" = 1'-0"



4 Fireplace Detail
1 1/2" = 1'-0"

6 Alternate 3 - Window Restoration
3" = 1'-0"