

The Grant Home Sites - Boyhood Home

219 E Grant Ave, Georgetown, Ohio

Prepared for:

The Ohio History Connection
800 E 17th Ave, Columbus, Ohio 43211

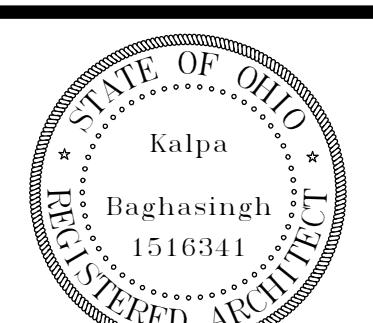
Drawing Issue Dates
Schematic Design Submittal
2/28/2025
Design Development Submittal
5/2/2025
90% Construction Documents
6/20/2025
Bid Set / Permit Set
7/9/2025

Revision Schedule		
#	Description	Date



Grant Home Sites
- Boyhood Home

219 E Grant Ave,
Georgetown, OH 45121



Kalpa Baghasingh, license #1516341
Expiration Date 12/31/2025

Cover Sheet

General

G000

7/9/2025

24240

Drawing Index

01 - General
G000 Cover Sheet
G001 Index and Symbols
G002 Code Analysis
G003 Architectural Site Plan

03.5 Architectural Demolition
AD101 Floor Plan Demolition

04 - Architectural
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A400 Kiosk Details
A600 Window, Door and Finish Schedules
A620 Toilet and Shower Layouts
A621 Standard Toilet Accessories
A800 Interior Details
A801 Interior Details
A900 Finish Plans
A911 Signage Schedule

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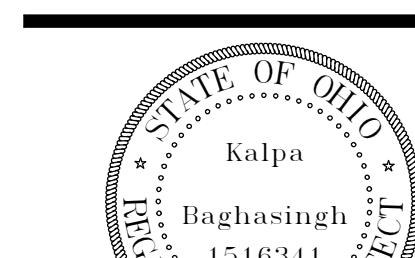
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General Notes

1. Schedules:
Partition Type Schedule see drawing A020.
Exterior and Interior Window and Louver Schedule see drawing A600.
Door and Frame Schedule see drawing A610.
2. All dimensions shall be verified at the job by the General Contractor and each Sub-Contractor and the Architect must be notified of any discrepancies before proceeding with the work.
3. All dimensions are to the face of finish, face of concrete, face of masonry, to centerlines of columns and other grid points, and to centerlines of doors and other scheduled openings unless otherwise noted.
4. All door locations not dimensioned are located by details * /A800 and * /A800 respectively for framed and masonry walls.
5. Access door locations are noted on the drawings. Actual size, location, and quantity may vary upon field conditions. Verify and coordinate locations and quantity required with the appropriate contractor(s).
6. Offset studs and/or shim as required to align finish material.
7. All housekeeping pads and curbs shall be furnished and installed by the general (lead) contractor. Verify with appropriate contractor(s) for required size and location.
8. All floor drain (F.D.) elevations are 1/2" lower than finished floor elevation unless otherwise noted.
9. All vertical elevations and working points are given with reference to level one finish floor elevation 100'-0" datum.
10. The drawings are the graphic portion of the contract documents showing the design, location, and dimensions of the work. Do not scale the drawings to determine a dimension in question, consult the architect for clarification.
11. Contractor(s) are to investigate and verify location, condition, and capacity of all existing utilities within the limits of work, prior to beginning construction. See site utility, mechanical and electrical drawings for further information.
12. The structure is designed to be self-supporting and stable after the building is fully completed. It is solely the contractor(s) responsibility to determine erection procedures and sequences and to ensure the safety of the building and all component parts during erection, including the addition of shoring, sheathing, temporary enclosure, etc. It is the contractor(s) sole responsibility to follow all applicable safety and construction regulations, ordinances and codes during the course of construction.
13. OHC archaeologist must be on site for any ground disturbance. Any ground work requiring the presence of an archaeologist requires 1-week advanced notice.

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Index and Symbols

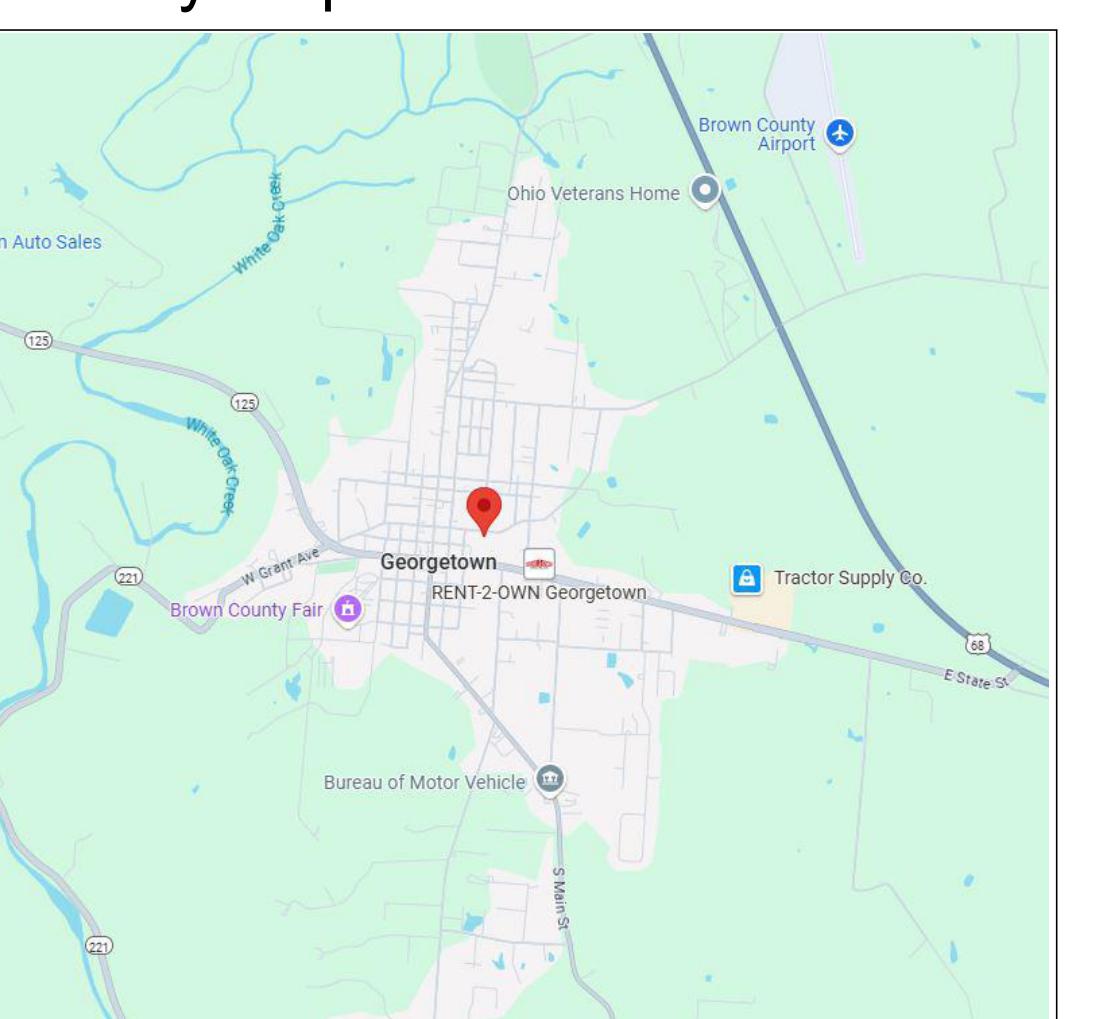
General

G001

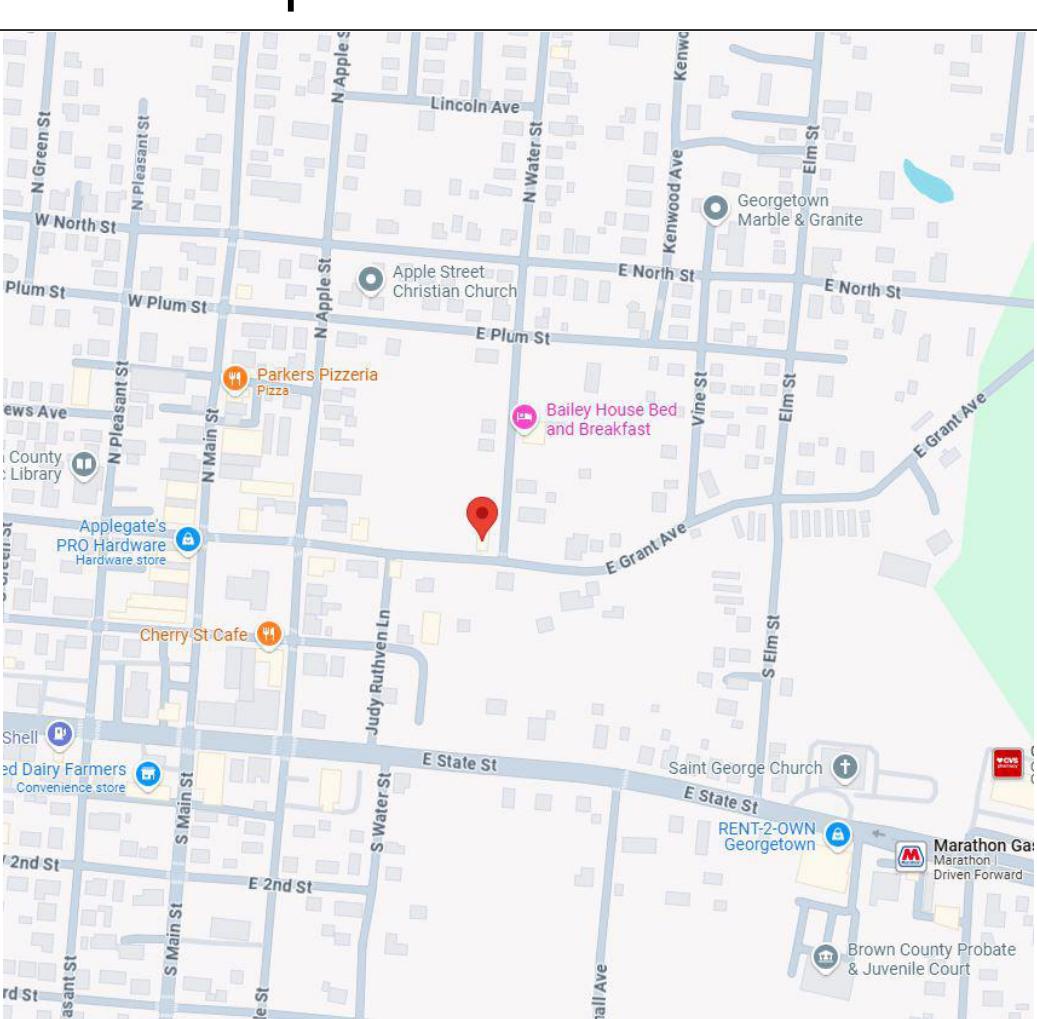
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Vicinity Map



Area Map



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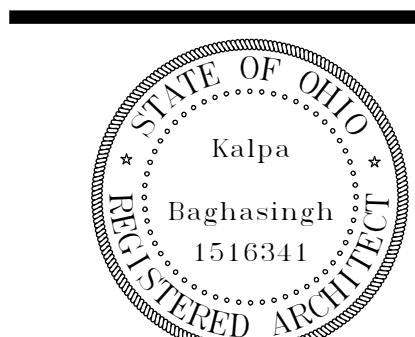
DEMOLITION - GENERAL NOTES

- A. Refer to G001 for all general notes.
- B. The purpose of the Demolition Work is to selectively demolish and/or remove existing building assemblies to accommodate the new work.
- C. The demolition plans represent general sizes, locations, and configurations of building elements. The drawing scale indicated is approximate and must be field verified.
- D. Extreme care shall be taken to ensure that all remaining building fabric shall not be damaged during the work. Protect all items including plaster, glass, floor, walls and decorative elements.
- E. Remove all ties, connections or support systems to be removed or that have already been removed, unless noted otherwise.
- F. Cover, protect, and clear free of debris all historic flooring.
- G. Refer to specifications and hazardous material report for information regarding hazardous materials abatement.
- H. Objects shown as dashed lines on this sheet are to be removed and disposed of per Construction Waste Management Plan, UNO.
- I. Consult Owner before discarding removed doors and hardware. Store or discard as directed by Owner.
- J. All shaded walls are to remain.
- K. Where masonry construction is to be removed from construction to remain, separation of the two must be saw-cut.
- L. Where walls are removed from floor slab to remain, remaining slab shall be made flat, smooth, clean and ready to receive new finishes.
- M. Repair/patch openings in walls, partitions, floors and ceilings that are existing or where demolition occurs as necessary to maintain code and fire rating requirements.
- N. Remove all acoustical tile ceilings and finishes. The removal of these ceilings shall also entail the removal of all associated MEP components.
- O. All interior wood trim to remain unless noted otherwise.
- P. All doors shown as dashed are to be removed.
- Q. Remove existing window coverings from all windows including curtain rods, tracks, support devices or other hardware.
- R. Protect all remaining surfaces (floor, wall and ceilings) and finishes (including trim, moldings and fixtures) during demolition and construction.
- S. Contractor to perform a walk-through of the building prior to work commencing to determine extent of building clean-out required.
- T. Restrooms and all toilet fixtures, accessories, etc., are to be removed unless noted otherwise.

Items to be demolished: 

DEMOLITION - CODED NOTES

1. Remove existing crown molding throughout the room.
2. Exhibit panel and cases removed by Owner prior to start of work.
3. Remove lighting and pull lines back to panel.

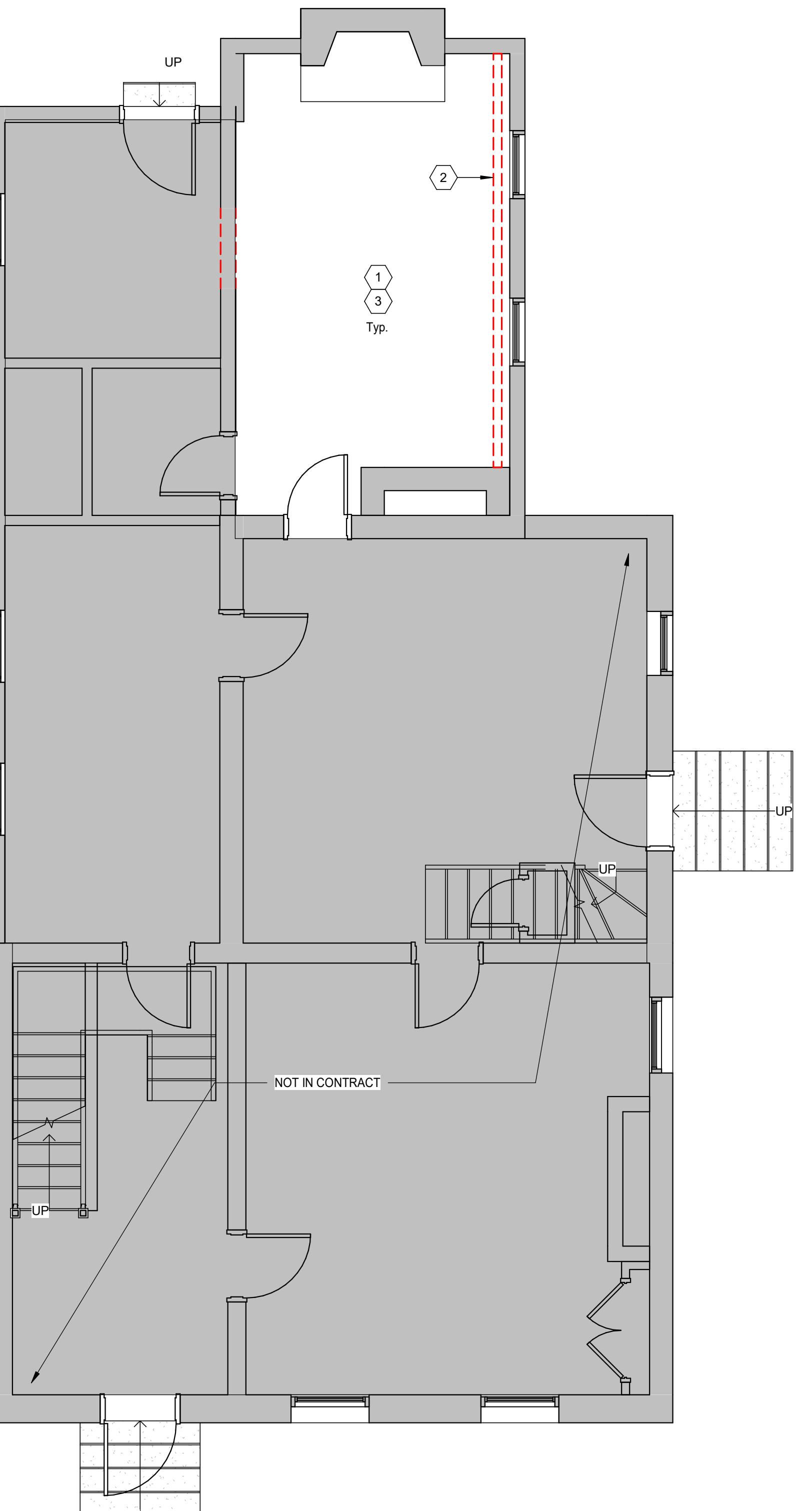
Grant Home Sites
- Boyhood Home219 E Grant Ave,
Georgetown, OH 45121Kalpa Baghasingh, License #1516341
Expiration Date 12/31/2025Floor Plan
Demolition

Architectural

AD101

7/9/2025

24240

1 First Floor Demolition Plan
1/4" = 1'-0"

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NEW WORK - GENERAL NOTES

- A. In any room where alterations are made, including MEP, the general trades contractor shall make proper repair to other building items affected i.e., patch holes, cracks, voids, or other damage to floors, walls, ceilings, base, trim, etc.
- B. All vertical elevations and working points are given with reference to the First Floor elevations of 100'-0".
- C. In general, new materials and materials for repair conditions shall match similar items in quality, detail, profile, and finish as those already built into the work.
- D. In the case of minor discrepancies between the MEP and Architectural drawings in the location of ceiling mounted components, the Architectural Reflected Ceiling Plan shall govern. In the case of major discrepancies, the Architect shall be notified of the discrepancy when the issue is discovered before proceeding with the work.
- E. Unless noted otherwise, all fixtures and ceiling mounted equipment to be mounted in the center of the building.
- F. All ceiling heights to be coordinated with window head heights. In no instance shall a ceiling be dropped below the windows.
- G. Existing walls are shaded.
- H. Refer to Door and Frame Schedule for all door requirements and opening details.
- I. All dimensions are to face of finish or to centerline of column unless noted otherwise.
- J. "Restore Woodwork"

- a. Where this term is used, evaluate and perform the required restoration procedure as defined in Specification Section 06 01 40 (CONFIRM SECTION) and sections related to this. "Restore" is defined in the "Definitions" articles in this section.
- b. Restoration procedures may include some or all of the general categories of the following repairs/replacement as defined in this specification section and sections referenced from this:
 - Removal of applied materials not part of the original woodwork.
 - Replacement of existing with new material
 - Repairing with dutchmen
 - Repairing holes
 - Repairing cracks or separation in woodwork
 - Rejoining broken or gouged
 - Repairing loose joints
 - Refinishing woodwork

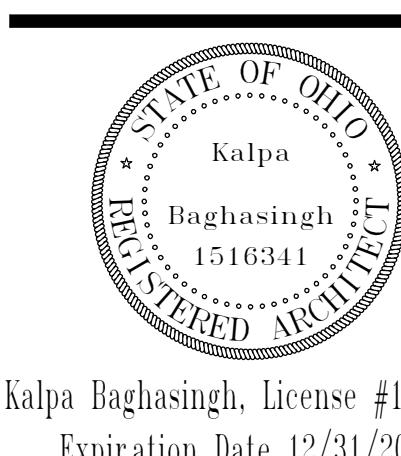
- A. "Restore Plaster"
 - a. Where this term is used, evaluate and perform the required restoration procedures as defined in Specification Section 09 01 20 (CONFIRM SECTION) and sections related to this.
 - b. Restoration procedures may include some or all of the general categories of the following repairs/replacement as defined in this specification section and sections referenced from this:
 - Repair of plaster surfaces where part of the plaster system is missing, spalled, cracked or otherwise damaged.
 - Removal and replacement of all loose or damaged plaster.
 - Replacing plaster where modifications occur in wall openings.
 - Repair ornamental plaster, including conditions at walls, ceilings, moldings, cornice-work, columns at door surrounds.
 - Other conditions required as modifications in the Work.

NEW WORK - CODED NOTES

1. Restore plaster where exhibits were removed during Demolition.
2. Restore wood plank flooring where display cases and exhibits were removed.
3. Plaster exposed brick walls and skim coat all drywall walls to match.
4. Patch holes and skim coat entire drywall ceiling to match walls.
5. Provide new wood shelving. See details on sheet A800.
6. Replace firebox block with salvaged brick, repair mantle as needed and whitewash firebox and surround.
7. Electric switch in this area to be relocated to docent room.
8. Provide new wood peg rail. See detail 1/A800.

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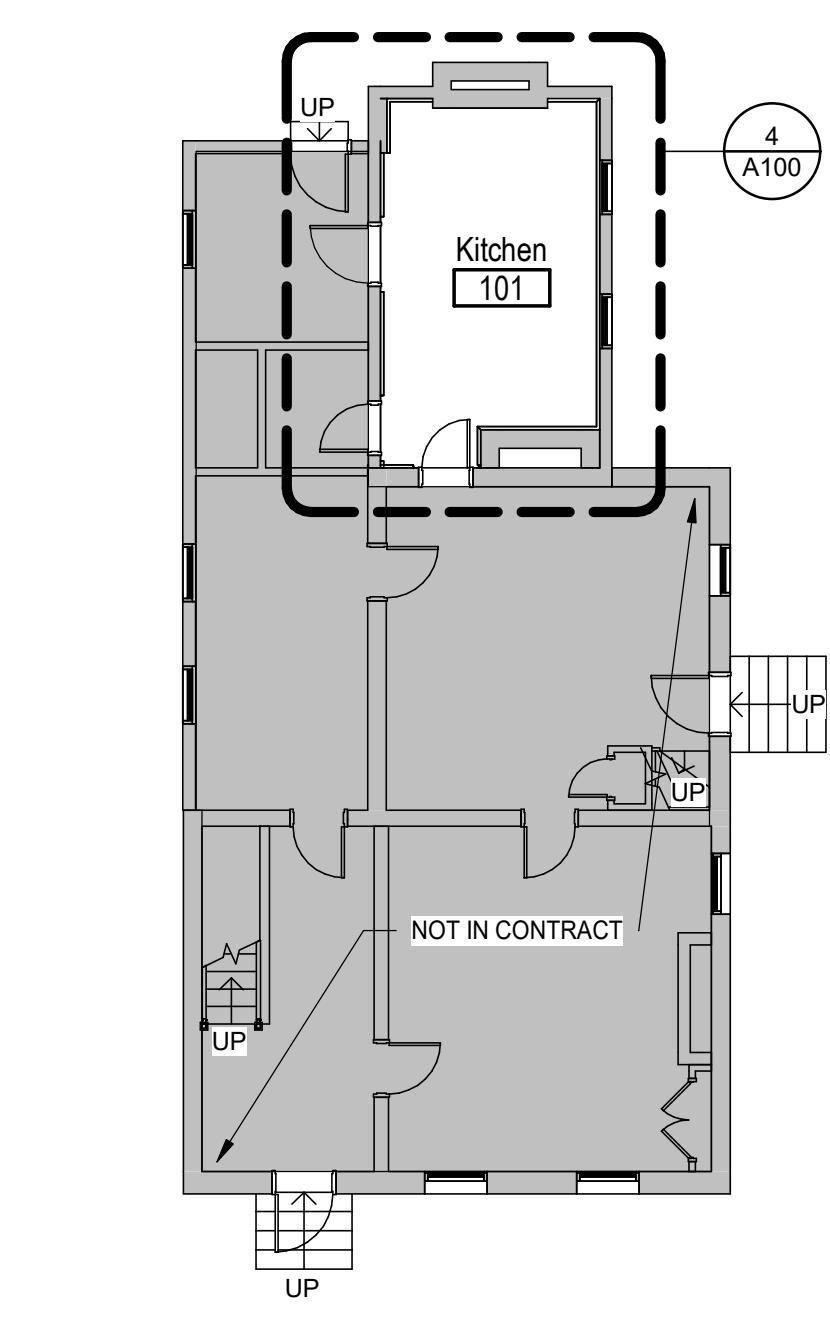
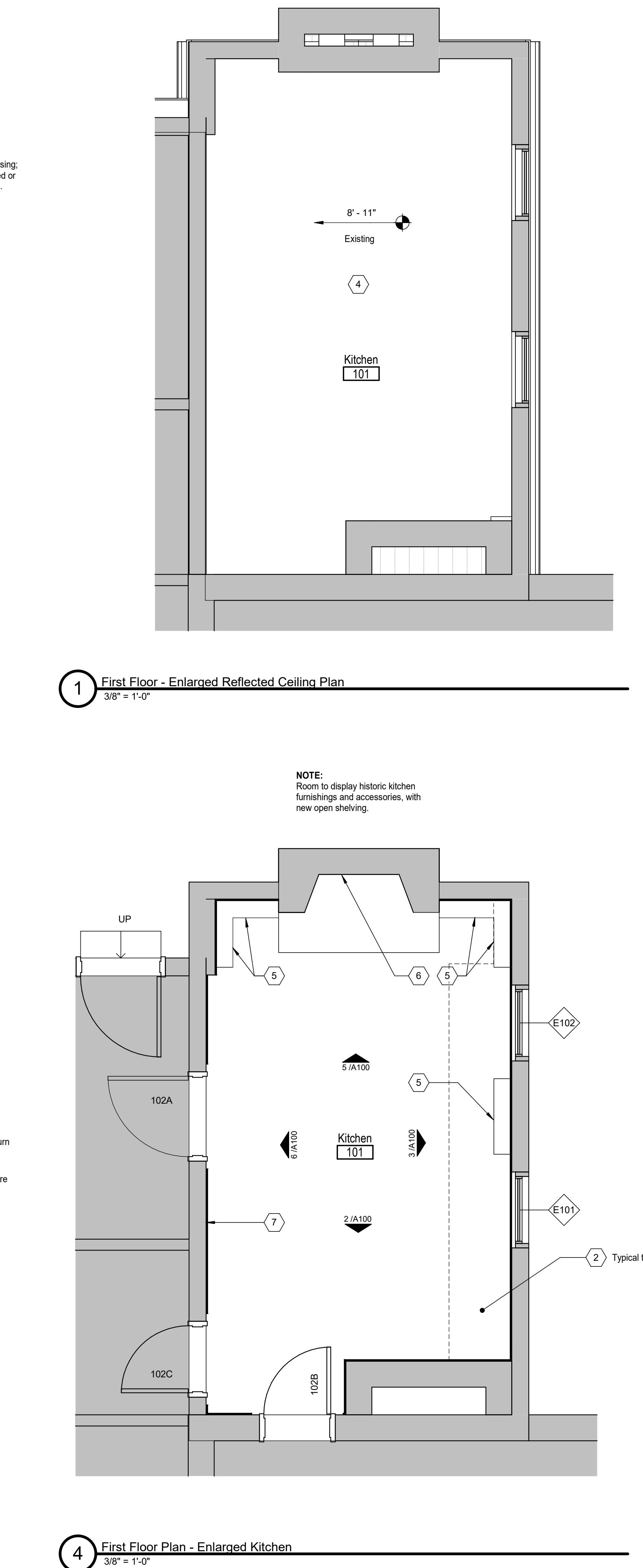
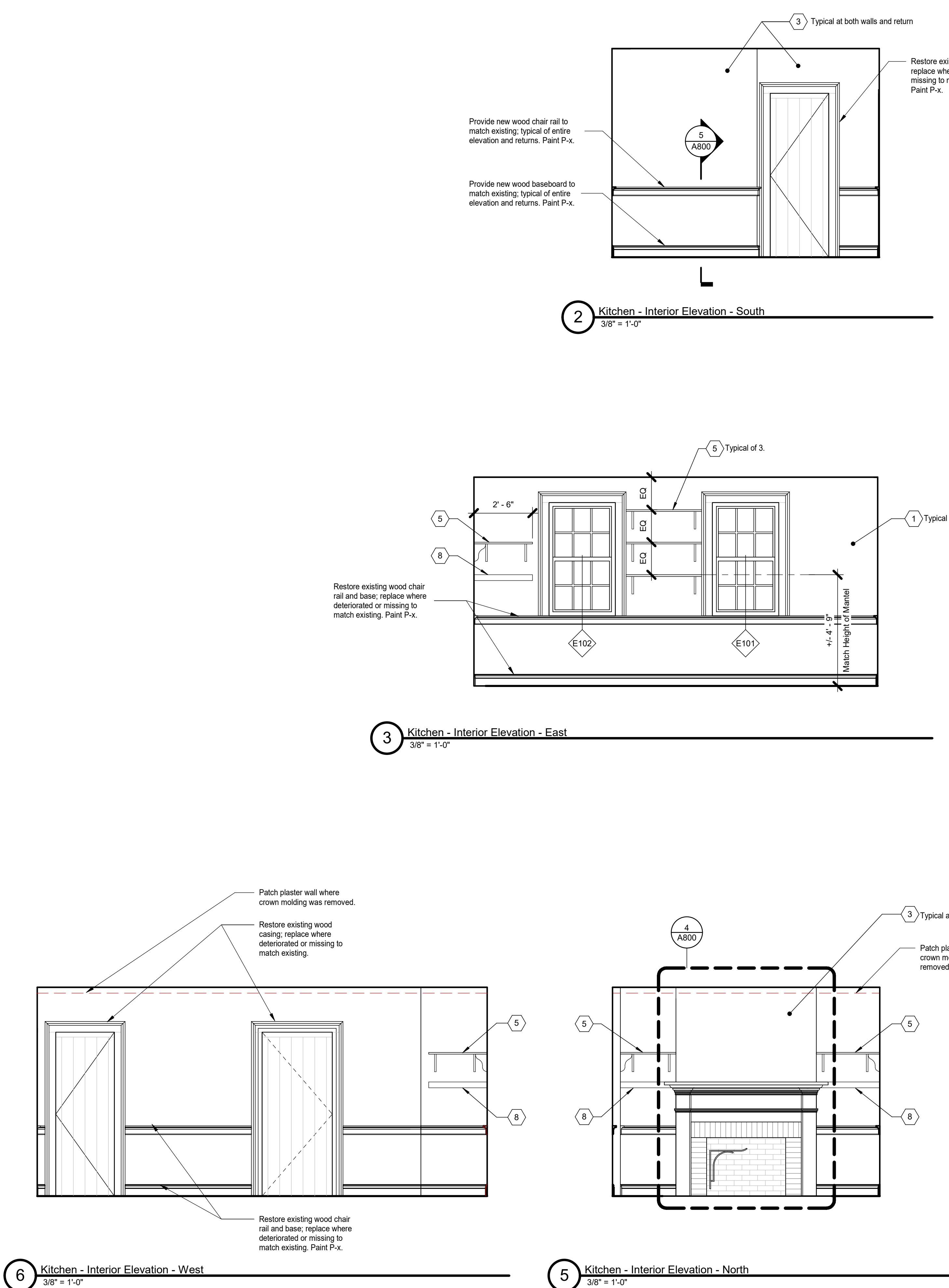
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Enlarged Plans &
Interior Elevations

A100

7/9/2025

24240

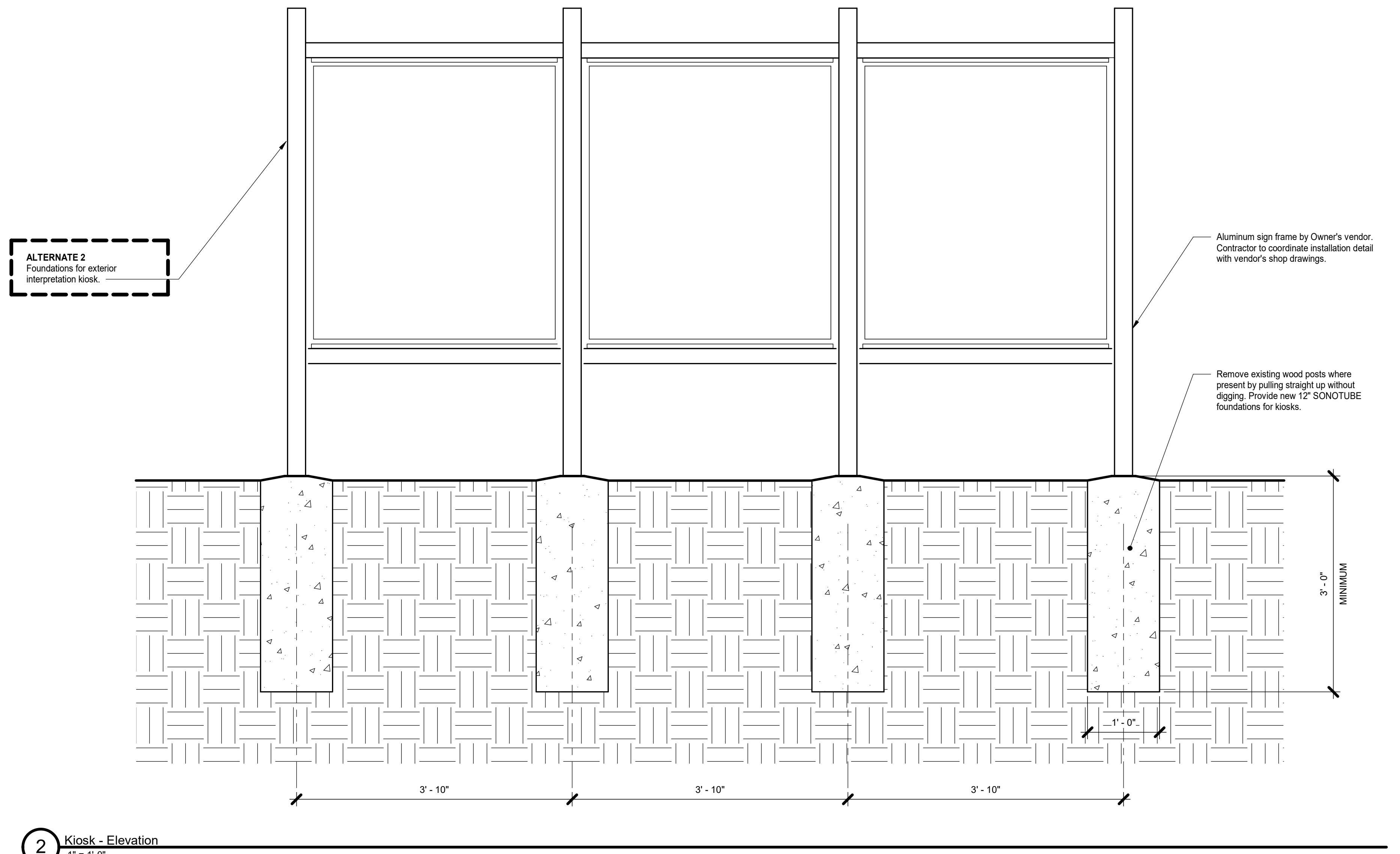


Drawing Issue Dates

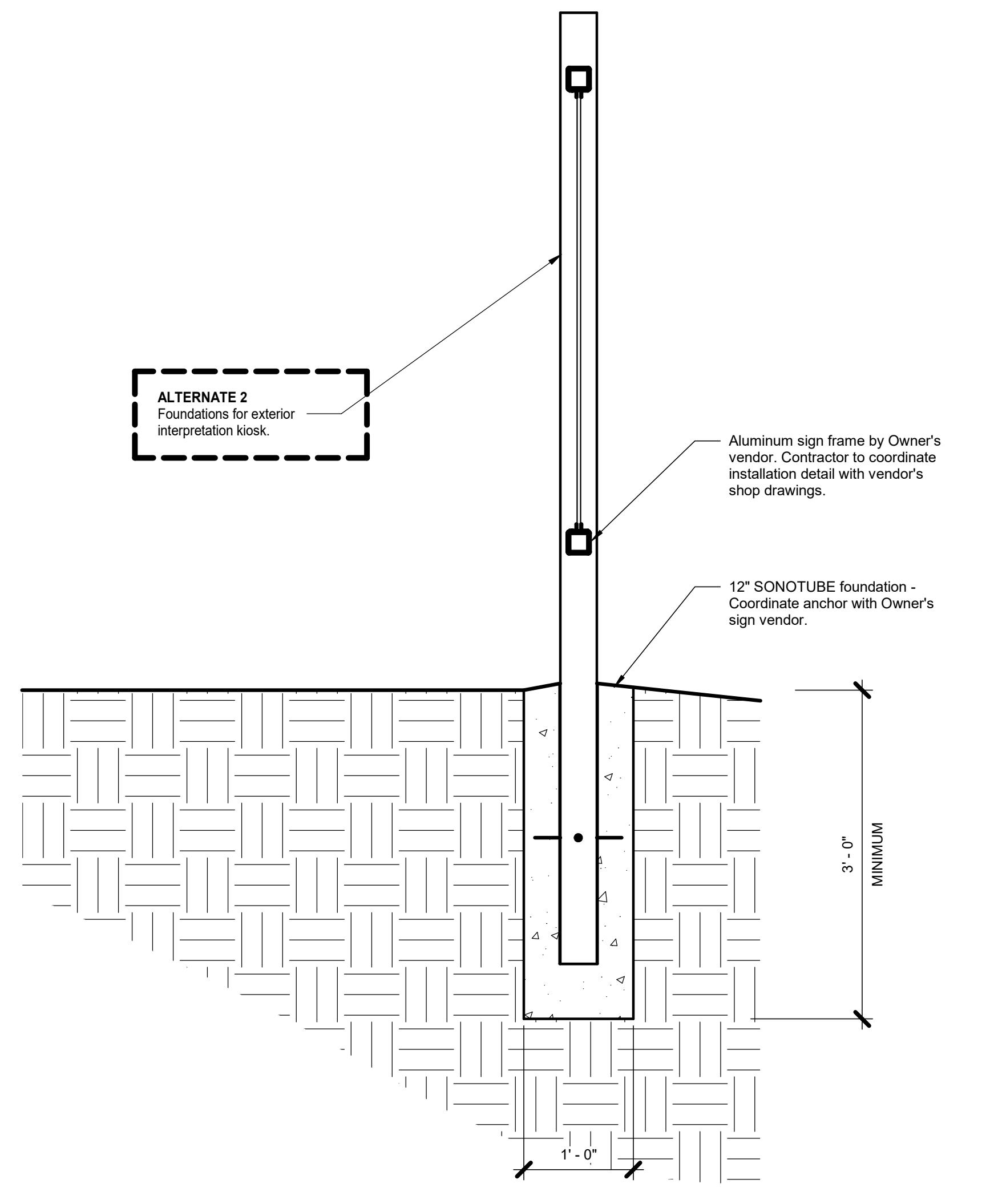
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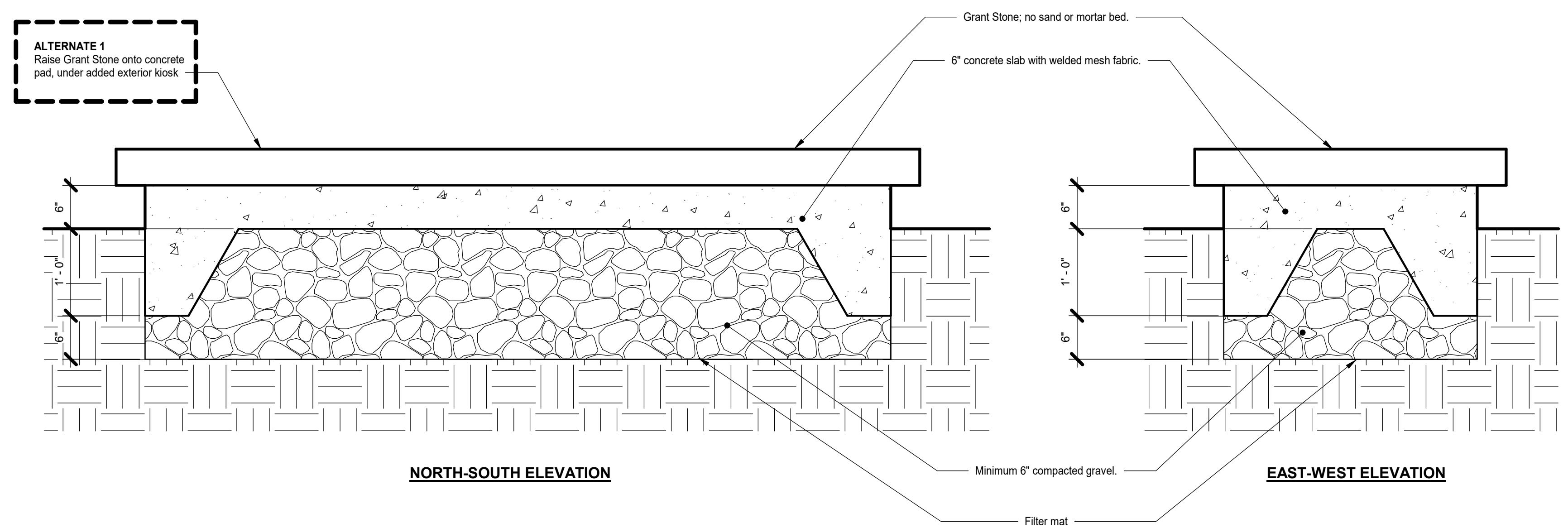
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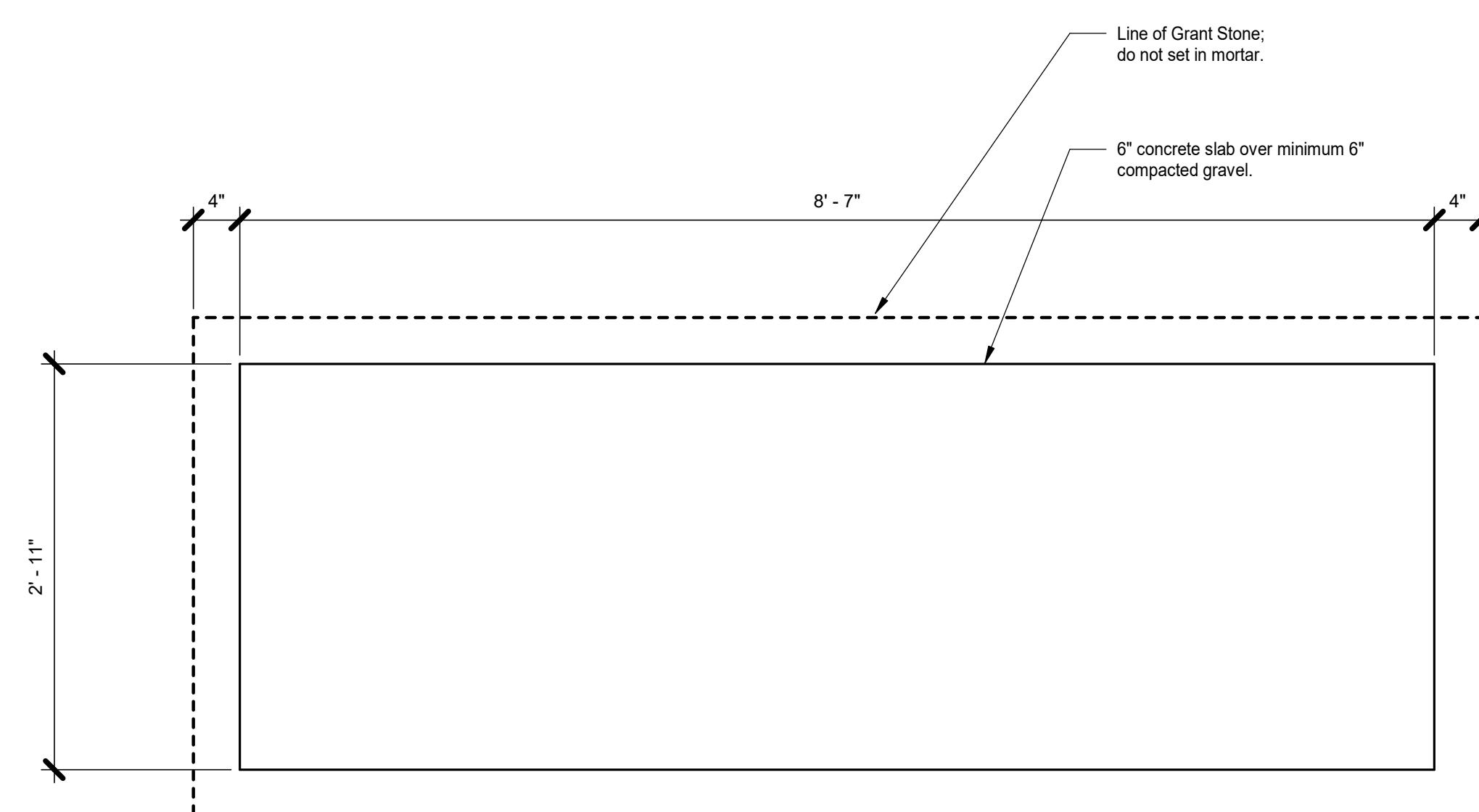
2 Kiosk - Elevation
1" = 1'-0"



3 Kiosk - Detail
1" = 1'-0"



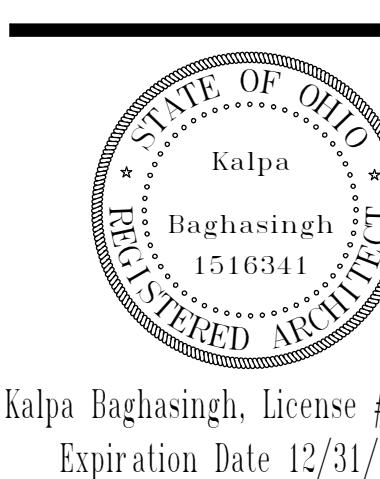
1 Grant Stone - Detail
1" = 1'-0"



4 Grant Stone - Plan
1" = 1'-0"

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Kiosk Details

Architectural

A400

7/9/2025

24240

ALTERNATE 3

Door & Frame Schedule												
DOOR MARK	TYPE	DOOR			FRAME			HARDWARE			REMARKS	
		W	H	THK	STATUS	MATERIAL	FINISH	TYPE	STATUS	MATERIAL	FINISH	
First Floor	DW1	3'-0"	7'-0"	1 3/4"	N	WD		FW1	E	WD		Reproduction hardware to match historic hardware in room
102A	DW18	2'-6"	7'-0"	1 3/4"	E	WD		FW1	E	WD		Restore hardware and replace broken latch with latch provided by Owner.
102B	DW18	2'-6"	7'-0"	1 3/4"	E	WD		FW1	E	WD		Restore hardware and replace hinges with reproduction hinges provided by Owner.
102C	DW18	2'-6"	7'-0"	1 3/4"								

DOOR NOTES

A. NUMBER:
 The door number matches the room number. When more than one door exists per room, the first door is followed with "A", the second door "B", etc.

B. All doors are to have a 3/4" undercut U.N.O.

C. STATUS:
 N - New
 E - Existing

D. MATERIAL:
 WD - Wood

E. FINISH:
 PT - Paint - Shop Prime Only
 TR - Transparent Finish

F. GLAZING:
 GL-1 =
 GL-2 =

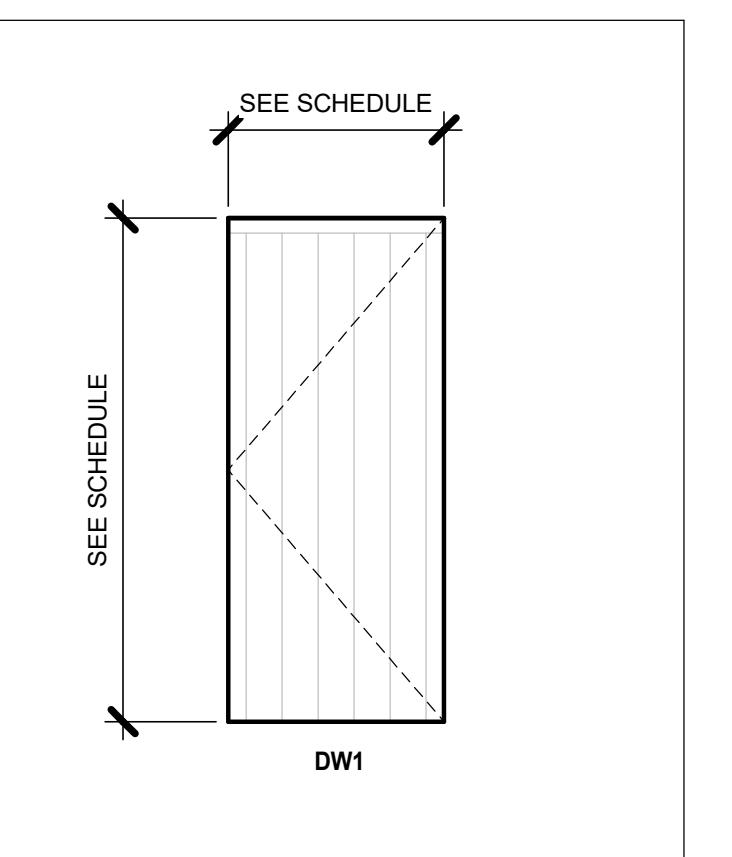
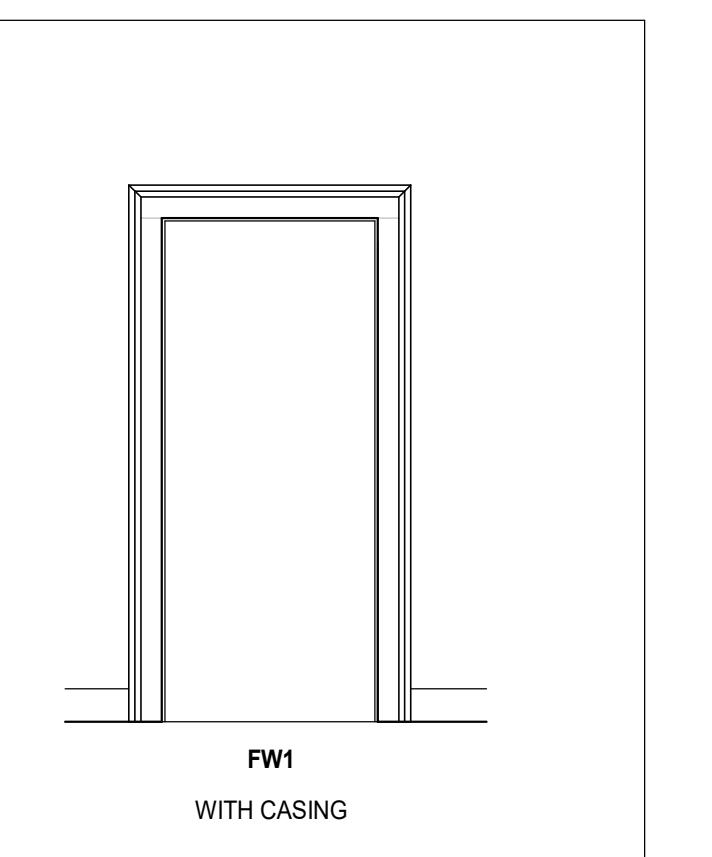
G. FIRE RATING:
 Rating of door in minutes.

H. HARDWARE SET:
 See specifications for description of hardware sets.

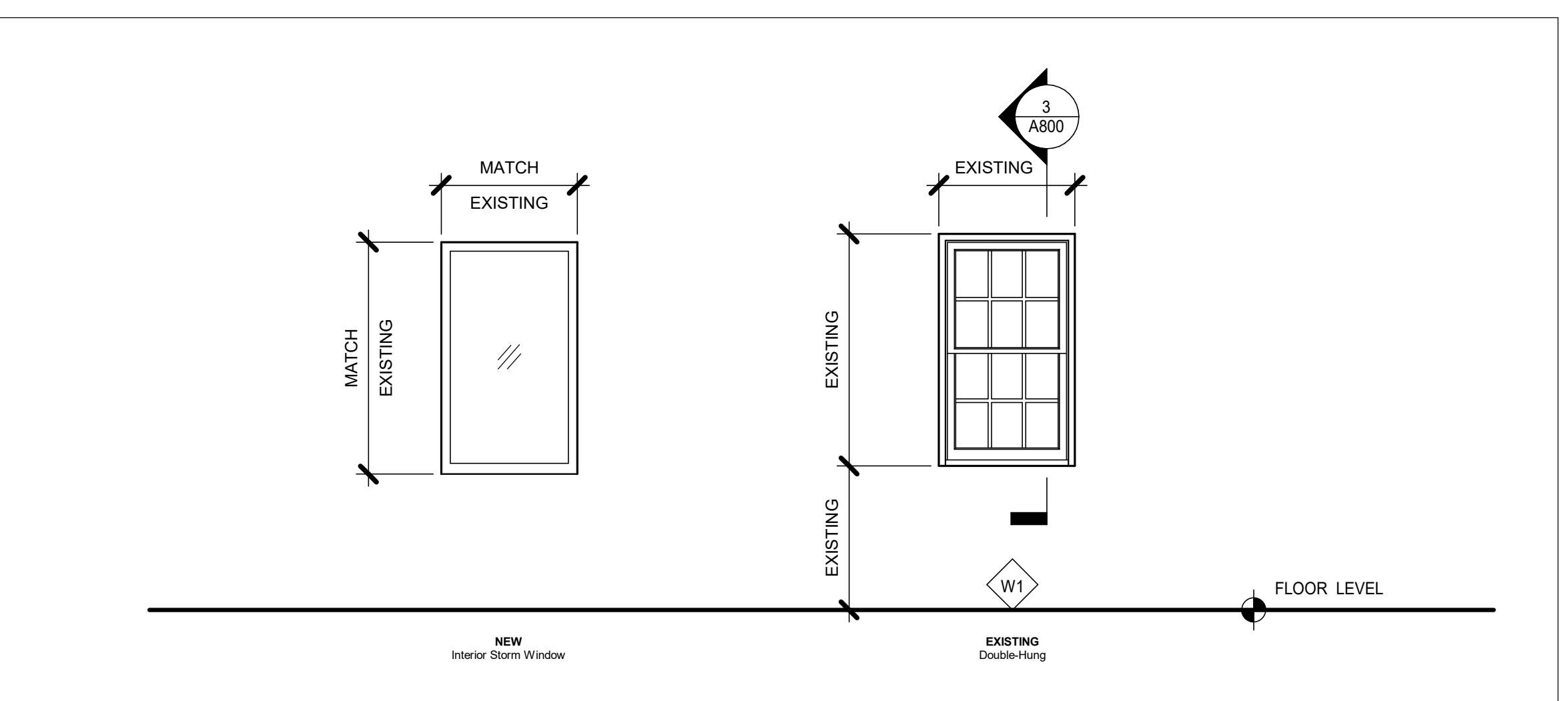
J. ELECTRICAL:
 Electrical contractor to provide power to door hardware power supply.

K. REMARKS:
 1. Door and/or hardware will be provided by Owner, contractor to install and finish.

Window Schedule											
Mark	Height	Width	Type	Mark	Sill Height	Level	Comments				
E101	4'-10"	2'-10"	W1		3'-0"	First Floor	Existing				
E102	4'-10"	2'-10"	W1		3'-0"	First Floor	Existing				

STILE AND RAIL WOOD DOOR TYPES

WOOD FRAME TYPES


Finish Legend							
KEYNOTE	ITEM	BASIS OF DESIGN MANUFACTURER	BASIS OF DESIGN PRODUCT	COLOR/FINISH	SIZE	EDGE/PROFILE	NOTES
B. Painting - 09 91 00							
PT-1	Wall and Ceiling Paint	Sherwin Williams	-	SW6385/ Dover White	-	-	Flat
PT-2	Woodwork Paint	Sherwin Williams	-	SW6385/ Dover White	-	-	Semi-gloss

[085200.1] - WOOD WINDOW TYPES

GENERAL NOTES FOR WINDOWS

- A. Contractor to field verify exact configuration of window frames, sash, and trim.
- B. Details shown in these drawings represent the general configurations of the windows based on field observation.
- C. Sizes of window members are approximate. Field measurements were not always possible.
- D. Window details sometimes represent more than one window condition. Slight variations may occur between the actual windows and what is shown in the details.
- E. Window openings shall have protection installed to keep weather out of the building.
- F. Refer to specifications for window hardware schedule.

EXTERIOR NOTES FOR WINDOWS

1. NUMBER: see exterior elevations.
2. TYPE: see window types below.
3. HARDWARE SET: see specifications.
4. WINDOW DESIGNATION: Windows are generally numbered per floor and facade. Example:

5. SCOPE: The two kitchen windows are to remain. Extent of work will include cleaning and repairing window frame, sash, brick mold, interior jamb extensions, stools, aprons and casings. Reglaze windows with antique reproduction glass to match the rest of the Boyhood Home. New interior storm windows to be installed to match the rest of the Boyhood Home.
6. GLAZING: Antique Glass (SELECT - MATCH BOYHOOD HOME)
7. While performing work, take care not to damage historic surfaces, such as brick masonry, stone sills, interior plaster, wood floor, etc. Patch and repair as required, any damaged surfaces to match existing.
8. Contractor to verify existing conditions at head, jamb and sill prior to planning or beginning any work.
9. Provide necessary anchors/fasteners/shims/blocking/reinforcing as required for safe installation of windows.
10. Anchor/fastener heads at sill must be covered with sealant to ensure a water-tight seal.
11. Fill any masonry voids with mortar or concrete where anchors occur.

