

OHC Project CP2400

Paul Laurence Dunbar House Exterior Restoration

219 N Paul Laurence Dunbar St
Dayton OH 45402



Ohio History Connection

800 East 17th Ave, Columbus, OH

Megan Wood
Executive Director

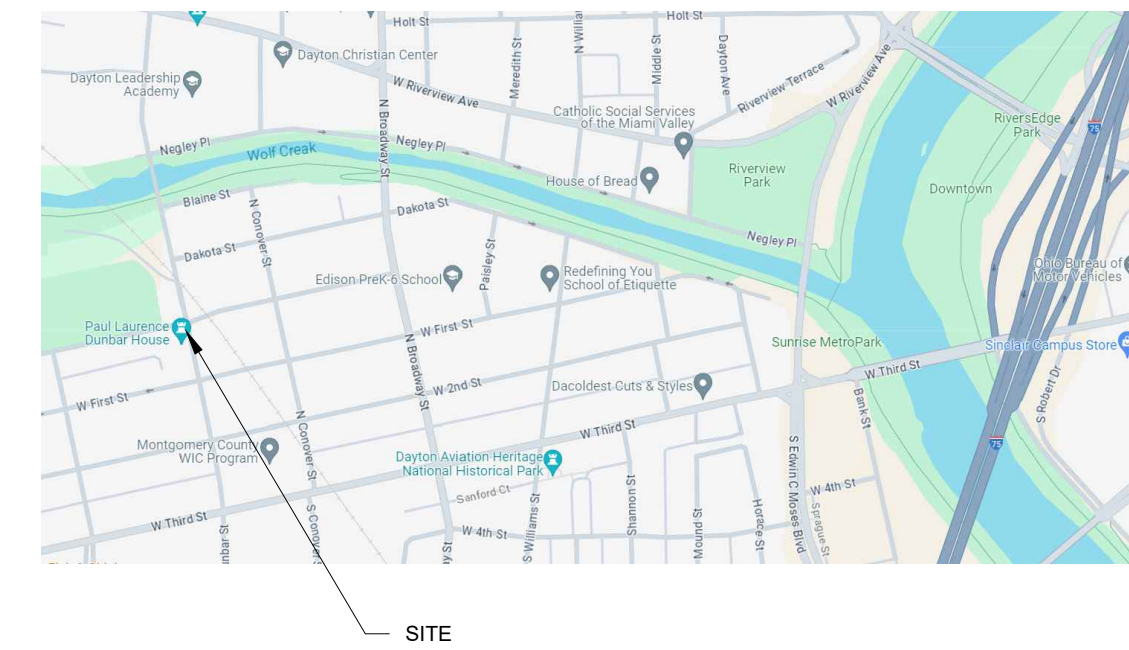
Historic Sites
Jen Aultman
Chief Officer

Architectural Services
Beth McFarlane, RA
Chief Architect
(614) 297-2450

Project Architect/Manager
Sara Vandenberg, RA
(614) 297-2447

Restoration Coordinator
Chris Buchanan
(419) 496-7243

SITE LOCATION PLAN - NTS



STATE LOCATION PLAN - NTS



DRAWING INDEX

- G-1 COVER SHEET
- A-1 SITE PLAN
- A-2 DUNBAR HOUSE PLANS
- A-3 DUNBAR HOUSE ELEVATIONS
- A-4 COLE EXTERIOR ELEVATIONS
- A-5 COLEMUNDHEE ELEVATIONS
- A-6 MUNDHEE ELEVATIONS AND DETAILS

SCOPE OF WORK

- BASE BID - DUNBAR HOUSE MASONRY REPAIR:
1. POWER WASH ENTIRE HOUSE AT START OF WORK USING LOW PRESSURE
 2. REPAIR AND REPOINT CHIMNEYS, BOTH EXTERIOR AND INTERIOR AT ATTIC. SEAL/CAP ALL CHIMNEYS.
 3. REPOINT EXTERIOR BRICK WALLS.
 4. REPLACE DELAMINATED BRICK

- ALTERNATE NO. 1 - ADDITIONAL MASONRY REPAIR AT DUNBAR HOUSE
1. REPOINT INTERIOR FACE OF EXTERIOR FOUNDATION WALLS IN BASEMENT
 2. FILL IN HOLE IN CENTER MASONRY WALL IN BASEMENT WITH MODERN CMU.

- ALTERNATE NO. 2 - DUNBAR WOOD RESTORATION & PAINTING:
1. WINDOWS: REMOVE EXISTING EXTERIOR STORMS, SPOT GLAZE, REPLACE SEALANT, REINSTALL STORMS
 2. SCRAPE LOOSE PAINT AND PRIME/PAINT BACK KITCHEN, WINDOWS, DOORS, ALL WOOD TRIM, AND IRON PORCH
 3. PREP, PRIME AND PAINT RIDGE CAP AND VALLEYS, SECURE LOOSE AREAS.

- ALTERNATE NO. 3 - SITE DRAINAGE:
1. INSTALL UNDERGROUND SITE DRAINAGE CONNECTION DOWNSPOUTS WHERE SHOWN.

- ALTERNATE NO. 4 - DUNBAR HOUSE ROOFING:
1. REROOF KITCHEN SHED ROOF
 2. REPLACE ALL COUNTER FLASHING AT CHIMNEYS AND WALL INTERSECTIONS
 3. REPLACE MISSING SLATE SHINGLES USING STOCK PROVIDED BY OWNER

- ALTERNATE NO. 5 - COLEMUNDHEE WOOD RESTORATION/PAINTING:
1. REPLACE ROTTED WOOD SIDING PER REPAIR SCHEDULE
 2. SCRAPE LOOSE PAINT, PRIME, AND PAINT ALL WOOD SIDING, TRIM, MOLDINGS AND WINDOWS.

- ALTERNATE NO. 6 - BARN
1. CLEAN AND TREAT BARN ROOF

- ALTERNATE NO. 7 - GUTTERS AND DOWNSPOUTS
1. REPLACE DUNBAR HOUSE GUTTERS AND DOWNSPOUTS, SIZES AND PROFILE TO MATCH EXISTING. PAINT.
 2. REPLACE GUTTERS/DOWNSPOUTS ON COLEMUNDHEE HOUSES AS SPECIFIED, PAINT.

- ALTERNATE 8 - COLEMUNDHEE HOUSES FLASHING AND CHIMNEYS
1. REPLACE COUNTER-FLASHING AND SEALANT. SPOT REPOINT AND CAP CHIMNEYS.

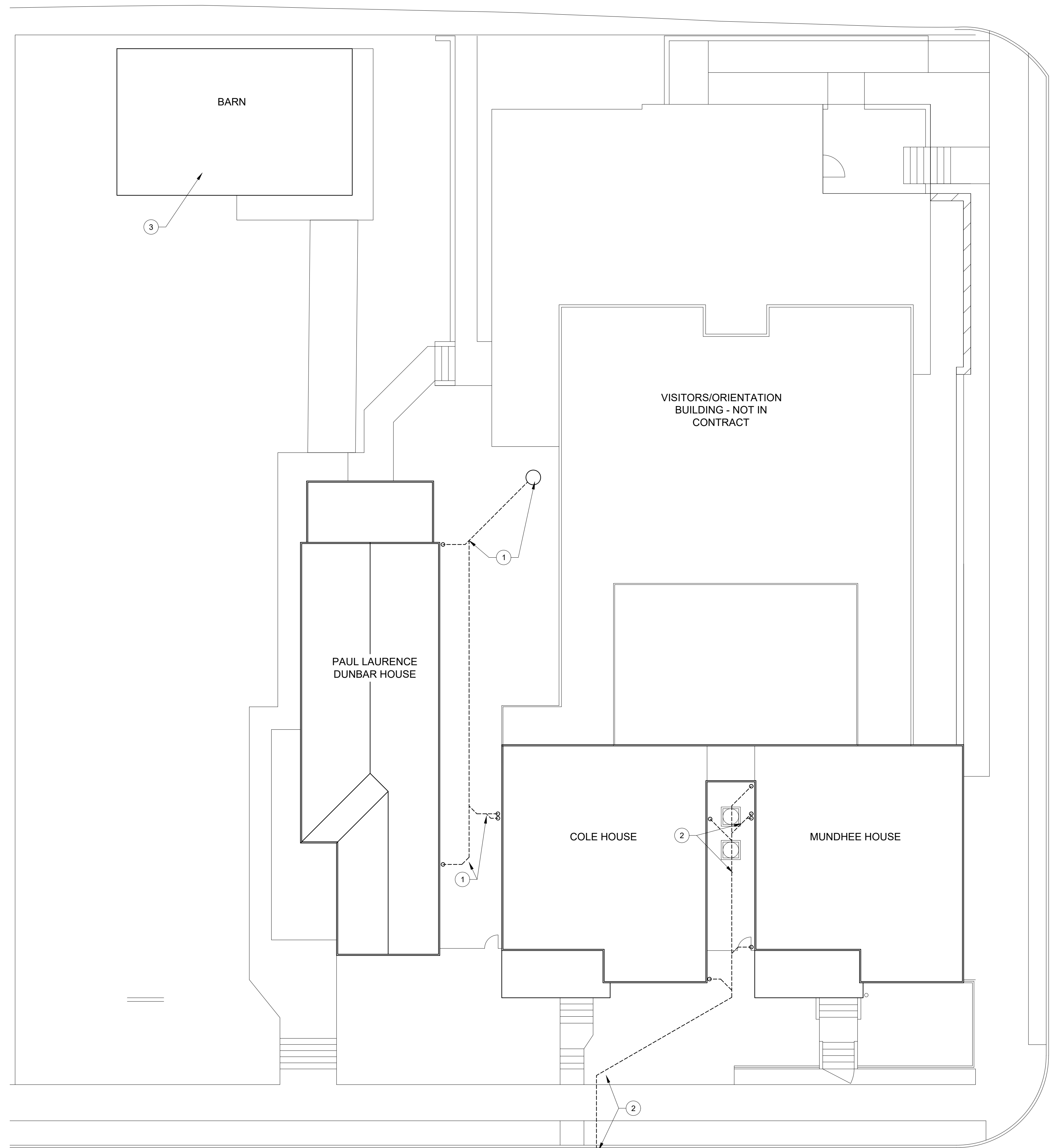
- ALTERNATE 9 - COLE HOUSE PLASTER
1. REPAIR PLASTER IN TWO ROOMS WHERE DAMAGED. PRIME AND PAINT TO MATCH EXISTING ADJACENT.

PROJECT NOTE: THE DUNBAR HOUSE CONTAINS IMPORTANT ARTIFACTS AND FURNISHINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE BARRIERS, SEALS, ETC. AS NECESSARY TO PREVENT DUST FROM MORTAR REMOVAL AND TUCK POINTING ACTIVITIES FROM INFILTRATING INTO THE FINISHED AREAS OF THE HOUSE. THE CONTRACTOR IS TO INSPECT THE ROOMS ADJACENT TO WORK AREAS FREQUENTLY WITH SITE MANAGEMENT PERSONNEL BEFORE AND DURING THE WORK, AND DOCUMENT THE CONDITIONS.

No.	Description	Date

OHIO HISTORY CONNECTION 800 EAST 17TH AVENUE, COLUMBUS, OHIO 43211		
DUNBAR HOUSE EXTERIOR RESTORATION		
COVER SHEET		
Drawn by: SV	Checked by: BAM	OHS Project No.
Date: 3/1/24	Issue Date	CP2236

G-1



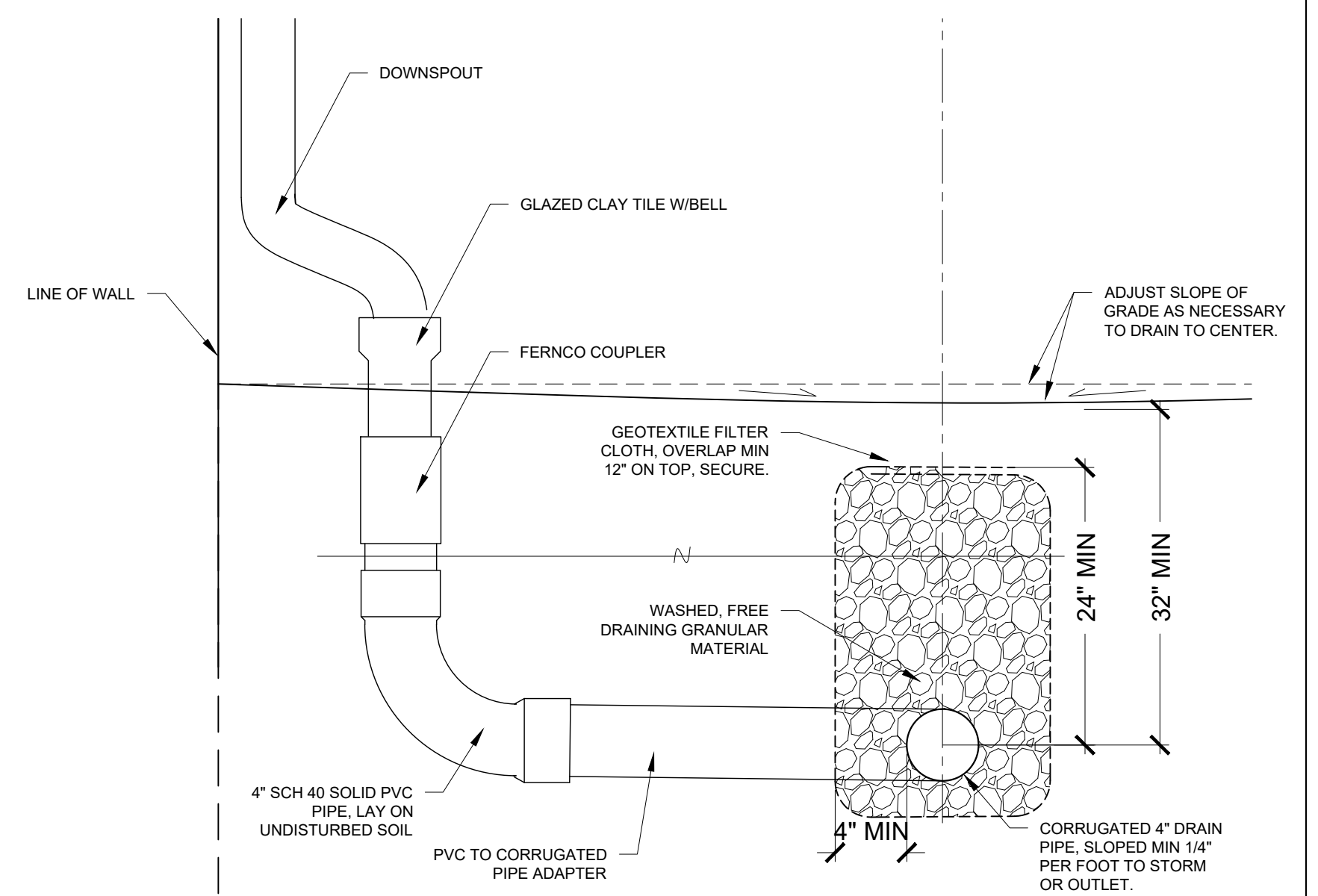
1 SITE WORK PLAN
SCALE: 1/8" = 1'-0"
NORTH

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LOCATIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING.
2. THE CONTRACTOR IS RESPONSIBLE TO REPAIR ALL DAMAGE DONE TO ALL EXISTING BRICK, STONE, SIDEWALKS, ASPHALT DRIVES, ETC. SURFACES WILL BE SURVEYED WITH ARCHITECT AT THE PRE-BID AND PRE-CONSTRUCTION MEETINGS. ALL EXISTING DAMAGE PRIOR TO START OF PROJECT WILL BE RECORDED BY THE ARCHITECT AND DAMAGE INCURRED WILL BE REPAIRED BY THE CONTRACTOR PRIOR TO THE CONCLUSION OF THE PROJECT.
3. THE CONTRACTOR IS RESPONSIBLE TO REPAIR ALL DAMAGE TO ALL EXISTING GRASS, PLANTINGS, DRAINAGE SYSTEM, ETC. EXISTING CONDITIONS / SYSTEMS WILL BE SURVEYED WITH THE ARCHITECT AT THE PRE-BID AND PRE-CONSTRUCTION MEETINGS. ALL EXISTING CONDITIONS PRIOR TO START OF PROJECT WILL BE RECORDED AND DAMAGE INCURRED IN THE CONSTRUCTION PROCESS WILL BE REPAIRED BY THE CONTRACTOR BEFORE THE CONCLUSION OF THE PROJECT (TYPICAL). ALL GRASS AREAS WILL BE REPAIRED WITH SEED, (PER SPECIFICATION.)
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE, MAINTAIN AND REMOVE ALL PROTECTION DEVICES, INCLUDING BUT NOT LIMITED TO: SIGNS, BARRICADES, OVERHEAD PROTECTION, ETC. PRIOR TO PROJECT COMPLETION.
5. CONTRACTOR SHALL REMOVE RUBBISH AND DEBRIS TO CONTAINER AREA DAILY. ACCUMULATION OF RUBBISH LONGER THAN 24 HOURS IN ANY AREA OTHER THAN THE DESIGNATED CONTAINER AREA IS NOT PERMITTED.
6. IT IS THE RESPONSIBILITY OF EACH CONTRACTOR TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
7. THE INTENT OF THE WORK IN THESE CONSTRUCTION DOCUMENTS IS TO PROVIDE AN END RESULT WHEREIN THE FINISHES, MASONRY, CARPENTRY, AND ALL ACCESSORIES, ETC. ARE INSTALLED WITH SUFFICIENT QUALITY AND CRAFTSMANSHIP TO PROVIDE AN INSTALLATION COMPLETE IN ALL RESPECTS.
8. THE ARCHITECT / OWNER IS NOT ENGAGED IN AND DOES NOT SUPERVISE CONSTRUCTION.
9. REFER TO SPECIFICATION FOR ALL MATERIAL TYPES AND METHODS OF REMOVAL AND INSTALLATION.
10. OHC ARCHAEOLOGIST MUST BE ON SITE FOR ANY GROUND DISTURBANCE, ANY GROUND WORK REQUIRING THE PRESENCE OF AN ARCHAEOLOGIST REQUIRES A 1-WEEK ADVANCED NOTICE.

SITE WORK CODED NOTES

1. ALTERNATE NO. 3 - CONNECT DOWNSPOUTS TO NEW UNDERGROUND DRAIN. REFER TO DETAIL 2/A-1. CONNECT DRAIN TO EXISTING PRIVATE STORM.
2. ALTERNATE NO. 3 - CONNECT DOWNSPOUTS TO NEW UNDERGROUND DRAIN. REFER TO DETAIL 2/A-1. CONNECT TO EXISTING STREET OUTLET.
3. ALTERNATE NO 6 - CLEAN AND TREAT BARN ROOF, REFER TO SPECIFICATIONS.

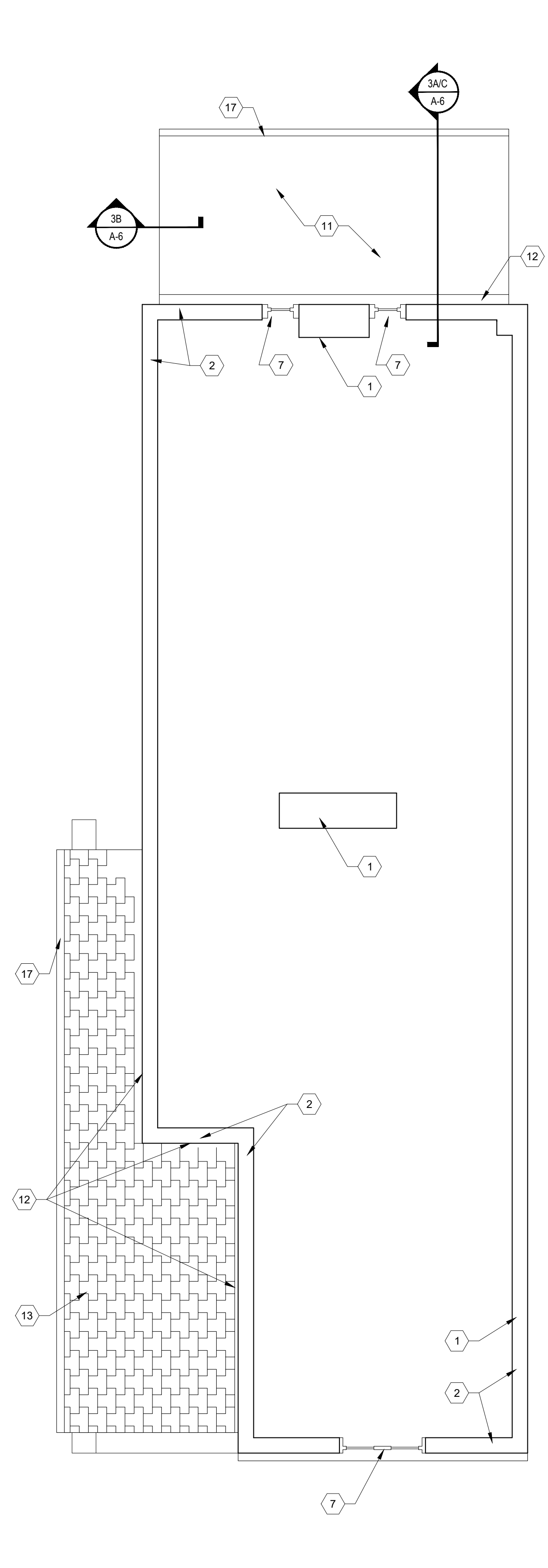


2 DRAINAGE DETAIL
SCALE: 3/4" = 1'-0"

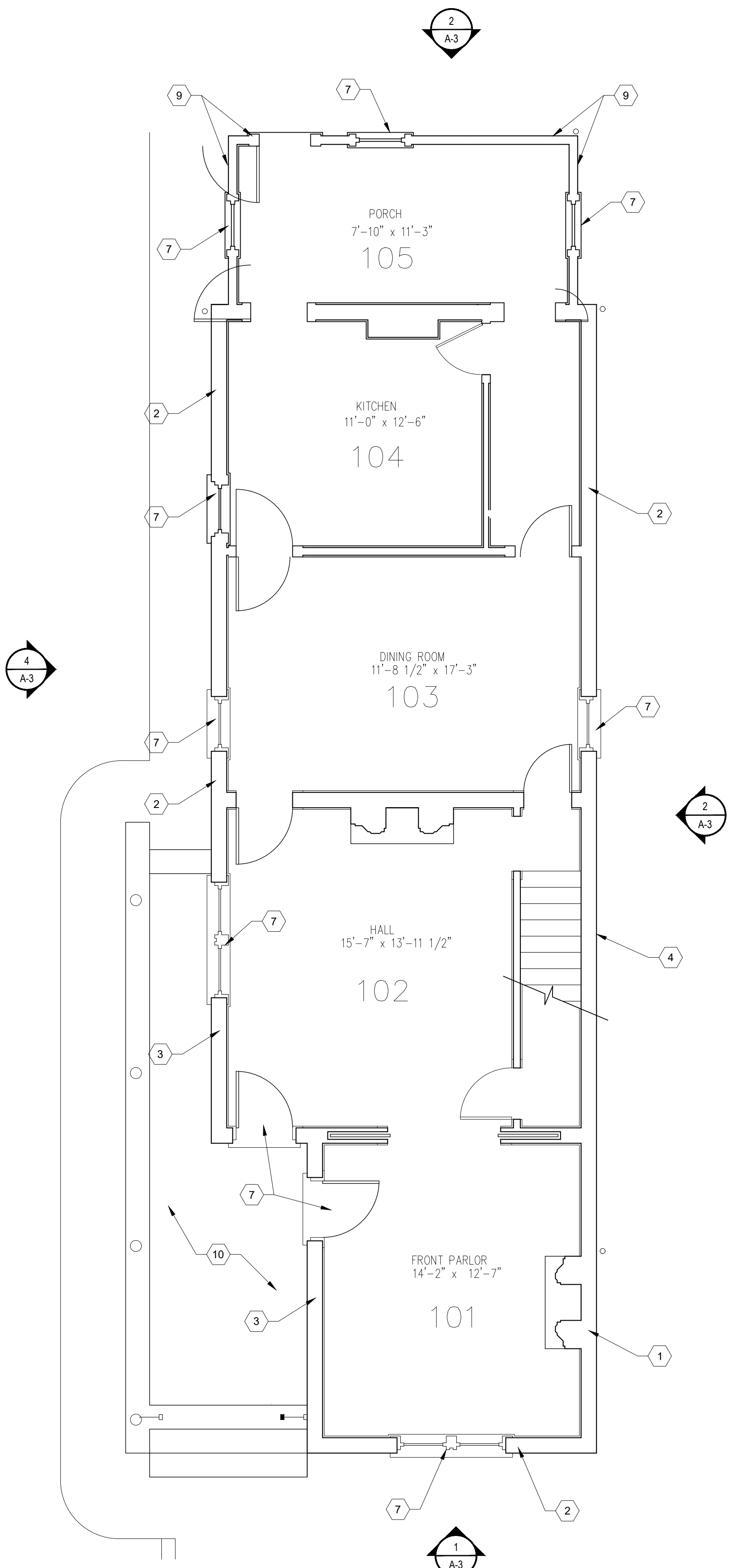
No.	Description	Date

OHIO HISTORY CONNECTION 800 EAST 17TH AVENUE, COLUMBUS, OHIO 43211		
DUNBAR HOUSE EXTERIOR RESTORATION		
SITE PLAN		
Drawn by: SV	Checked by: BAM	OHS Project No.
Date: 3/1/24	Issue Date	CP2236

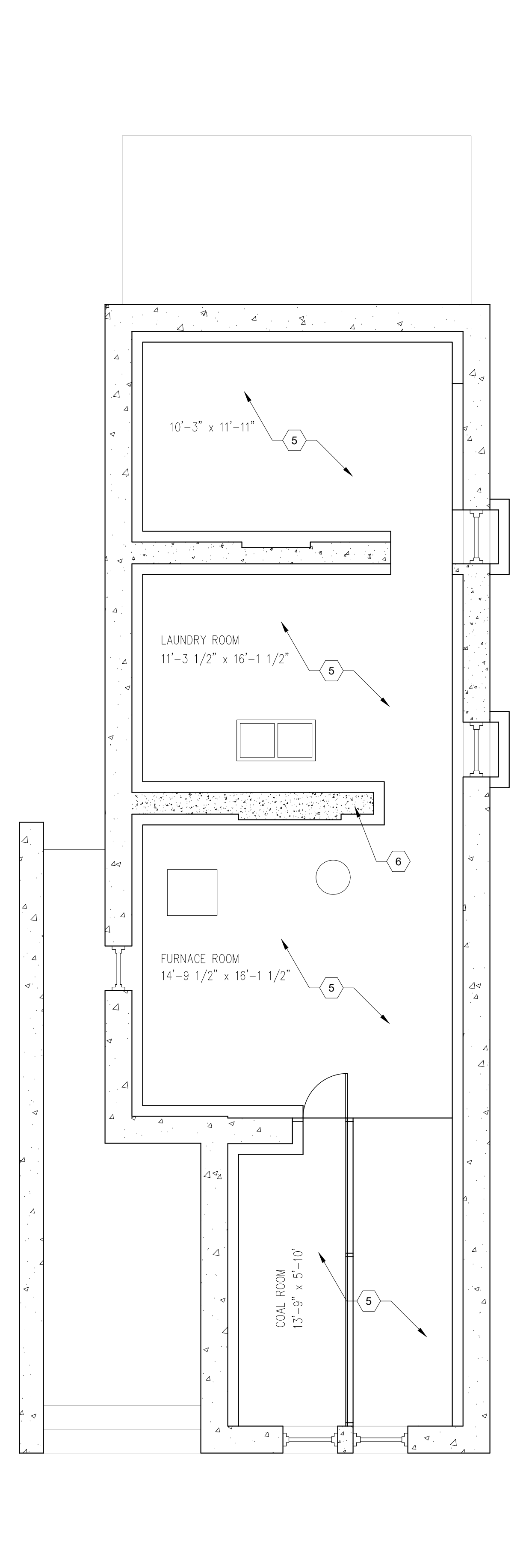
A-1



3 ATTIC PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT PLAN
SCALE: 1/4" = 1'-0"



GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LOCATIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE TO REPAIR ALL DAMAGE DONE TO ALL EXISTING BRICK, STONE, SIDEWALKS, ASPHALT DRIVES, ETC. SURFACES WILL BE SURVEYED WITH ARCHITECT AT THE PRE-BID AND PRE-CONSTRUCTION MEETINGS. ALL EXISTING DAMAGE PRIOR TO START OF PROJECT WILL BE RECORDED BY THE ARCHITECT AND DAMAGE INCURRED WILL BE REPAIRED BY THE CONTRACTOR PRIOR TO THE CONCLUSION OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE TO REPAIR ALL DAMAGE TO ALL EXISTING GRASS, PLANTINGS, DRAINAGE SYSTEM, ETC. EXISTING CONDITIONS / SYSTEMS WILL BE SURVEYED WITH THE ARCHITECT AT THE PRE-BID AND PRE-CONSTRUCTION MEETINGS. ALL EXISTING CONDITIONS PRIOR TO START OF PROJECT WILL BE RECORDED AND DAMAGE INCURRED IN THE CONSTRUCTION PROCESS WILL BE REPAIRED BY THE CONTRACTOR BEFORE THE CONCLUSION OF THE PROJECT (TYPICAL). ALL GRASS AREAS WILL BE REPAIRED WITH SEED, (PER SPECIFICATION.)
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE, MAINTAIN AND REMOVE ALL PROTECTION DEVICES, INCLUDING BUT NOT LIMITED TO: SIGNS, BARRICADES, OVERHEAD PROTECTION, ETC. PRIOR TO PROJECT COMPLETION.
- CONTRACTOR SHALL REMOVE RUBBISH AND DEBRIS TO CONTAINER AREA DAILY. ACCUMULATION OF RUBBISH LONGER THAN 24 HOURS IN ANY AREA OTHER THAN THE DESIGNATED CONTAINER AREA IS NOT PERMITTED.
- IT IS THE RESPONSIBILITY OF EACH CONTRACTOR TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
- THE INTENT OF THE WORK IN THESE CONSTRUCTION DOCUMENTS IS TO PROVIDE AN END RESULT WHEREIN THE FINISHES, MASONRY, CARPENTRY, AND ALL ACCESSORIES, ETC. ARE INSTALLED WITH SUFFICIENT QUALITY AND CRAFTSMANSHIP TO PROVIDE AN INSTALLATION COMPLETE IN ALL RESPECTS.
- THE ARCHITECT / OWNER IS NOT ENGAGED IN AND DOES NOT SUPERVISE CONSTRUCTION.
- REFER TO SPECIFICATION FOR ALL MATERIAL TYPES AND METHODS OF REMOVAL AND INSTALLATION.
- OHC ARCHAEOLOGIST MUST BE ON SITE FOR ANY GROUND DISTURBANCE. ANY GROUND WORK REQUIRING THE PRESENCE OF AN ARCHAEOLOGIST REQUIRES A 1-WEEK ADVANCED NOTICE.

NEW WORK CODED NOTES

- BASE BID - REPAIR AND REPOINT CHIMNEYS, EXTERIOR AND INTERIOR IN ATTIC. DAMAGED/MISSING BRICK TO BE REPLACED WITH HISTORIC SALVAGED BRICK WHICH MUST BE APPROVED BY RESTORATION COORDINATOR PRIOR TO INSTALLATION. CAP CHIMNEYS, SEAL AROUND MODERN HVAC VENT. SEE DETAIL 3/A-6 AND REFER TO SPECIFICATIONS. REPLACE SEALANT AROUND PERIMETER OF WINDOW FRAME, COLOR TO MATCH BRICK.
- BASE BID - REPAIR AND REPOINT EXTERIOR WALLS (ALL FLOORS) UNLESS NOTED OTHERWISE (SEE NOTE 4), INCLUDING FOUNDATION TO GRADE. GROUT REMOVAL SAMPLE TO BE APPROVED BY OWNER PRIOR TO WORK. DAMAGED/MISSING DELAMINATED BRICK TO BE REPLACED WITH HISTORIC SALVAGED BRICK WHICH MUST BE APPROVED BY RESTORATION COORDINATOR PRIOR TO INSTALLATION. REFER TO SPECIFICATIONS.
- BASE BID - UNDER PORCH ONLY. SPOT REPOINT AREAS OF NON-ORIGINAL MORTAR AND VOIDS. REFER TO SPECIFICATIONS.
- BASE BID - REPAIR CUT IN WALL. REPLACE CUT/DAMAGED/NON-ORIGINAL BRICKS WITH HISTORIC SALVAGED BRICK AS NECESSARY. RESTORATION COORDINATOR MUST APPROVE REPLACEMENT BRICK. REFER TO CODED NOTE 2 AND REPAIR SCHEDULE IN SPECIFICATIONS.
- ALT 1 - REPOINT INTERIOR FACE OF EXTERIOR BASEMENT WALLS.
- ALTERNATE 1 - FILL IN HOLE IN MASONRY WALL WITH MATCHING BRICK.
- ALTERNATE 2 - REMOVE EXTERIOR STORMS. SPOT RE-GLAZE WINDOWS (ALL FLOORS) AS NEEDED. HAND SCRABE LOOSE PAINT, PRIME BARE WOOD, AND PAINT WOOD AND SEALANT PER SPECIFICATIONS.
- ALTERNATE 2 - PAINT RIDGE AND VALLEYS, SECURE LOOSE PIECES. REFER TO SPECIFICATIONS.
- ALTERNATE 2 - HAND SCRABE LOOSE PAINT, PRIME BARE WOOD, AND PAINT PER SPECIFICATIONS.
- ALTERNATE 2 - REPLACE RUSTED NAILS WITH STAINLESS STEEL FINISH NAILS. REPLACE ROTTEN BOARDS, PAINT FLOOR BOARDS AND IRONWORK PER PAINT SCHEDULE. REFER TO SPECIFICATIONS.
- ALTERNATE 4 - REMOVE AND REPLACE KITCHEN ROOF WITH WOOD SHINGLE ROOF ON ICE AND WATERSHIELD THROUGHOUT. REFER TO DETAIL 3/A-6.
- ALTERNATE 4 - REPLACE COUNTER FLASHING AT PORCH AND CHIMNEYS, REFER TO DETAIL 1/A-6.
- ALTERNATE 4 - REPLACE MISSING SLATE SHINGLES USING STOCK PROVIDED BY OWNER.
- ALTERNATE 4 - COLE AND MUNDHEE HOUSES: SPOT RE-GLAZE WINDOWS (ALL FLOORS) AS NEEDED. HAND SCRABE LOOSE PAINT, PRIME BARE WOOD, AND PAINT PER SPECIFICATIONS.
- ALTERNATE 5 - COLE AND MUNDHEE HOUSES: REPAIR WOOD SIDING AND TRIM, REFER TO REPAIR SCHEDULE IN SPECIFICATIONS FOR SPECIFIC TREATMENTS.
- ALTERNATE 5 - COLE AND MUNDHEE HOUSES: HAND SCRABE LOOSE PAINT, LIGHTLY FEATHER, PRIME BARE WOOD, AND PAINT PER SPECIFICATIONS.
- ALTERNATE 7 - REPLACE GUTTERS AND DOWNSPOUTS AT DUNBAR HOUSE, PROFILE AND SIZE TO MATCH EXITING. PAINT PER SPECIFICATIONS.
- ALTERNATE 7 - REPLACE GUTTERS AND DOWNSPOUTS AT COLE/MUNDHEE WITH 5" HALF ROUND ALUMINUM GUTTERS AND 3" ROUND ALUMINUM DOWNSPOUTS. INSTALL PER MANUFACTURER'S DETAILS. PAINT PER SPECIFICATIONS.
- ALTERNATE 8 - COLE/MUNDHEE HOUSES: REPLACE COUNTER-FLASHING AND SEALANT. SPOT REPOINT AND CAP CHIMNEYS. SEE DETAILS 1 AND 2 ON SHEET A-6. REPAIR/REPLACE BASE FLASHING AS NECESSARY.

No.	Description	Date

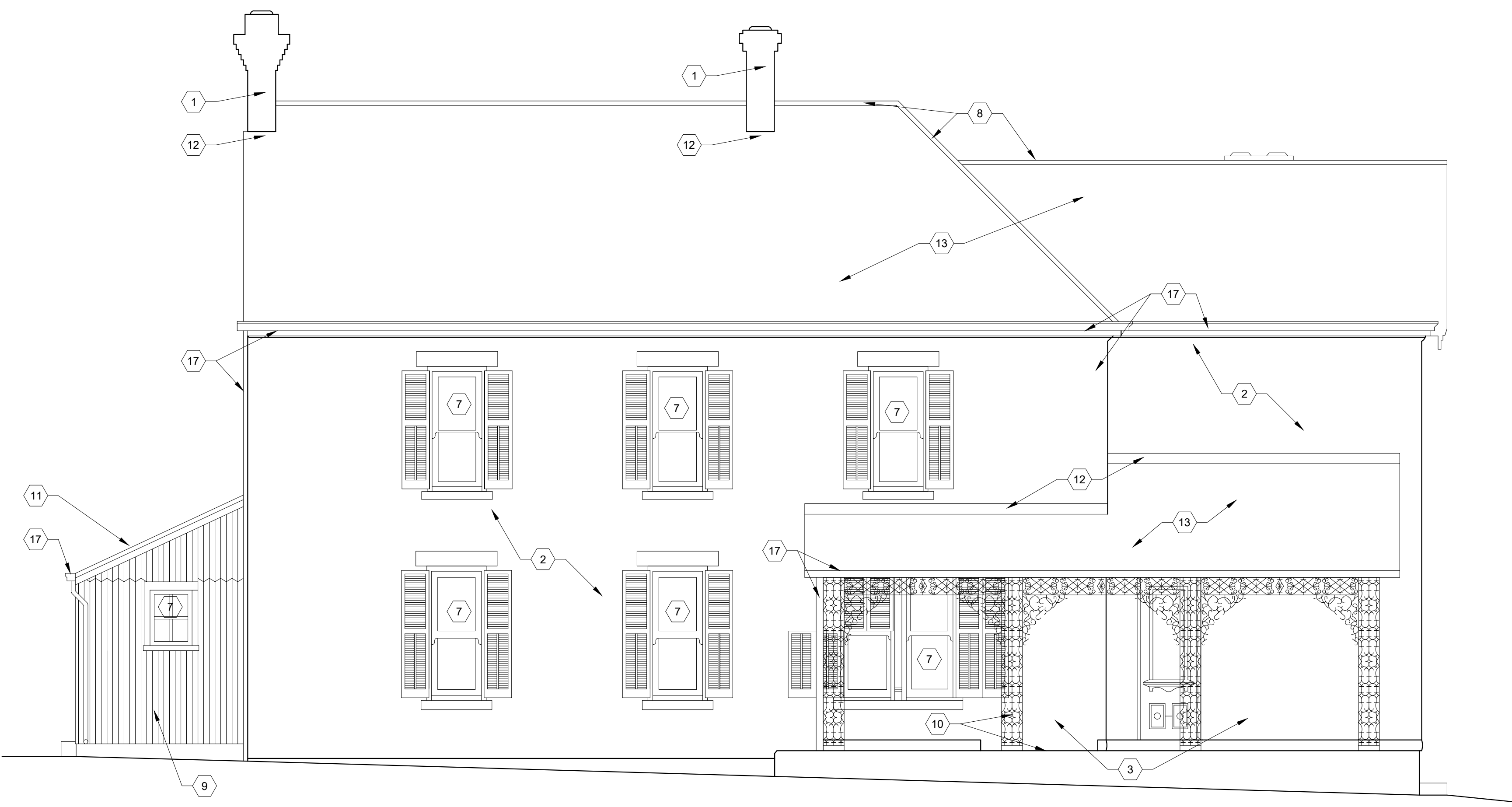
OHIO HISTORY CONNECTION
800 EAST 17TH AVENUE, COLUMBUS, OHIO 43211

DUNBAR HOUSE EXTERIOR RESTORATION

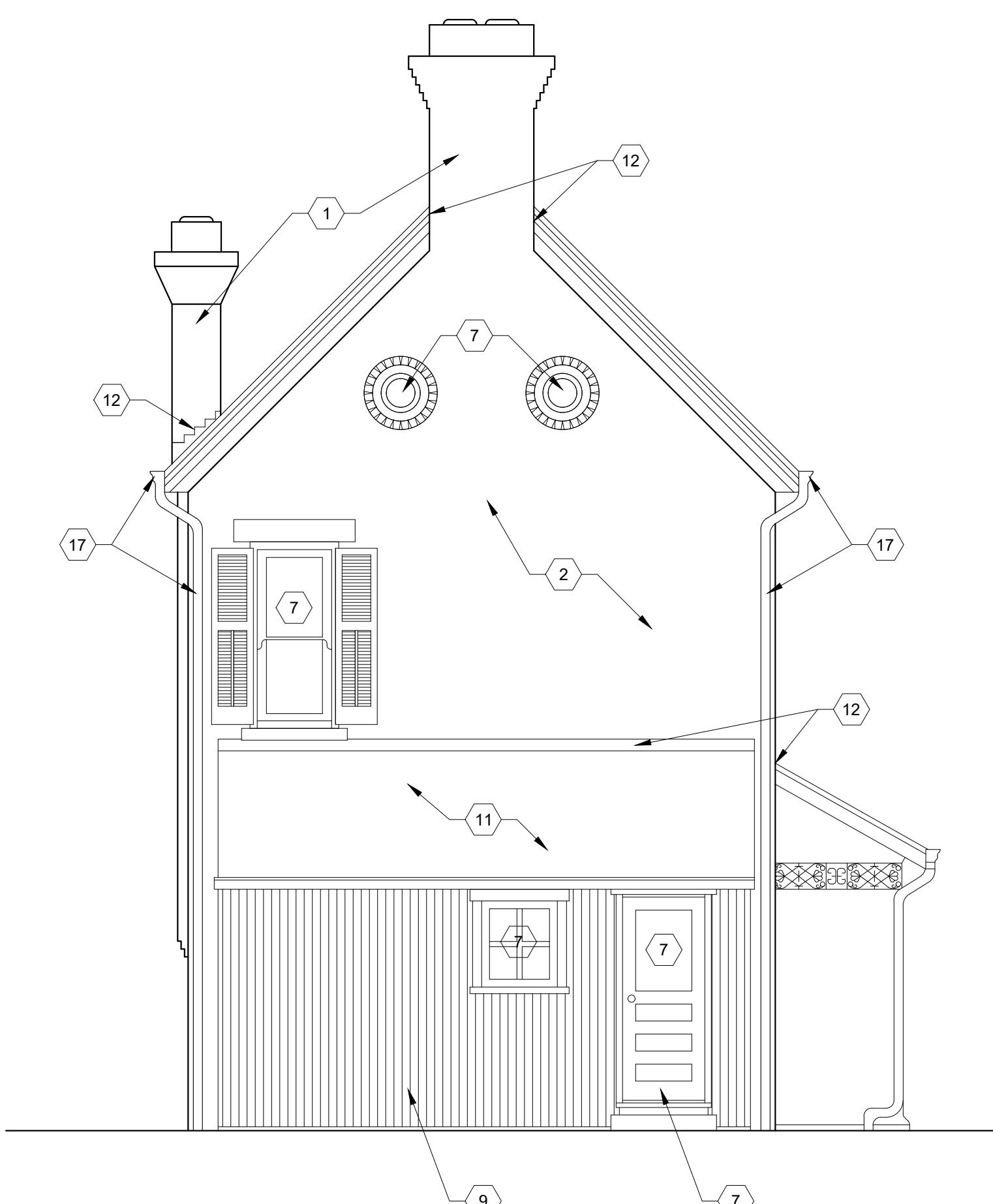
FLOOR PLANS

A-2

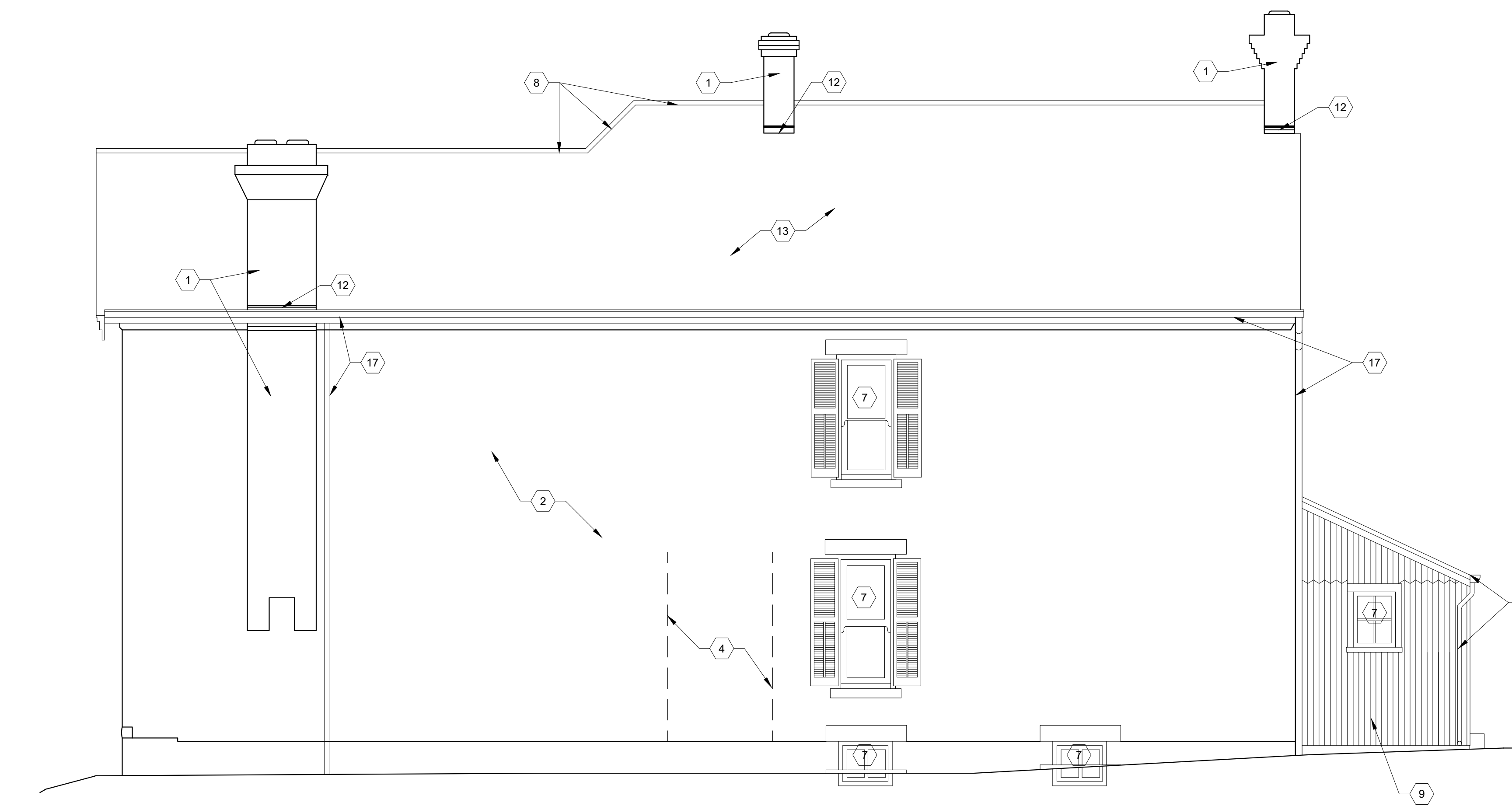
Drawn by: SV	Checked by: BAM	OHS Project No.
Date: 3/1/24	Issue Date	CP2236



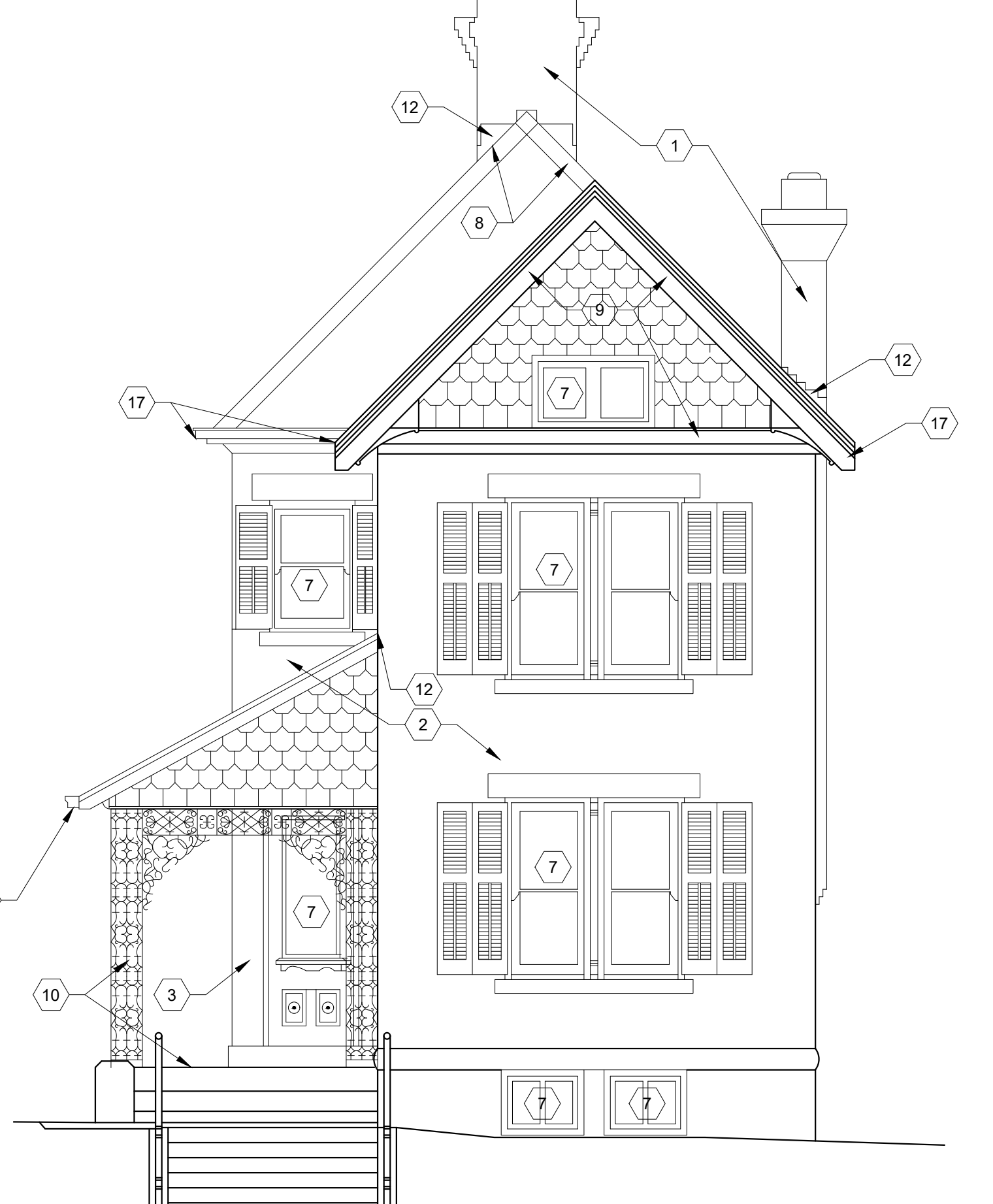
4 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

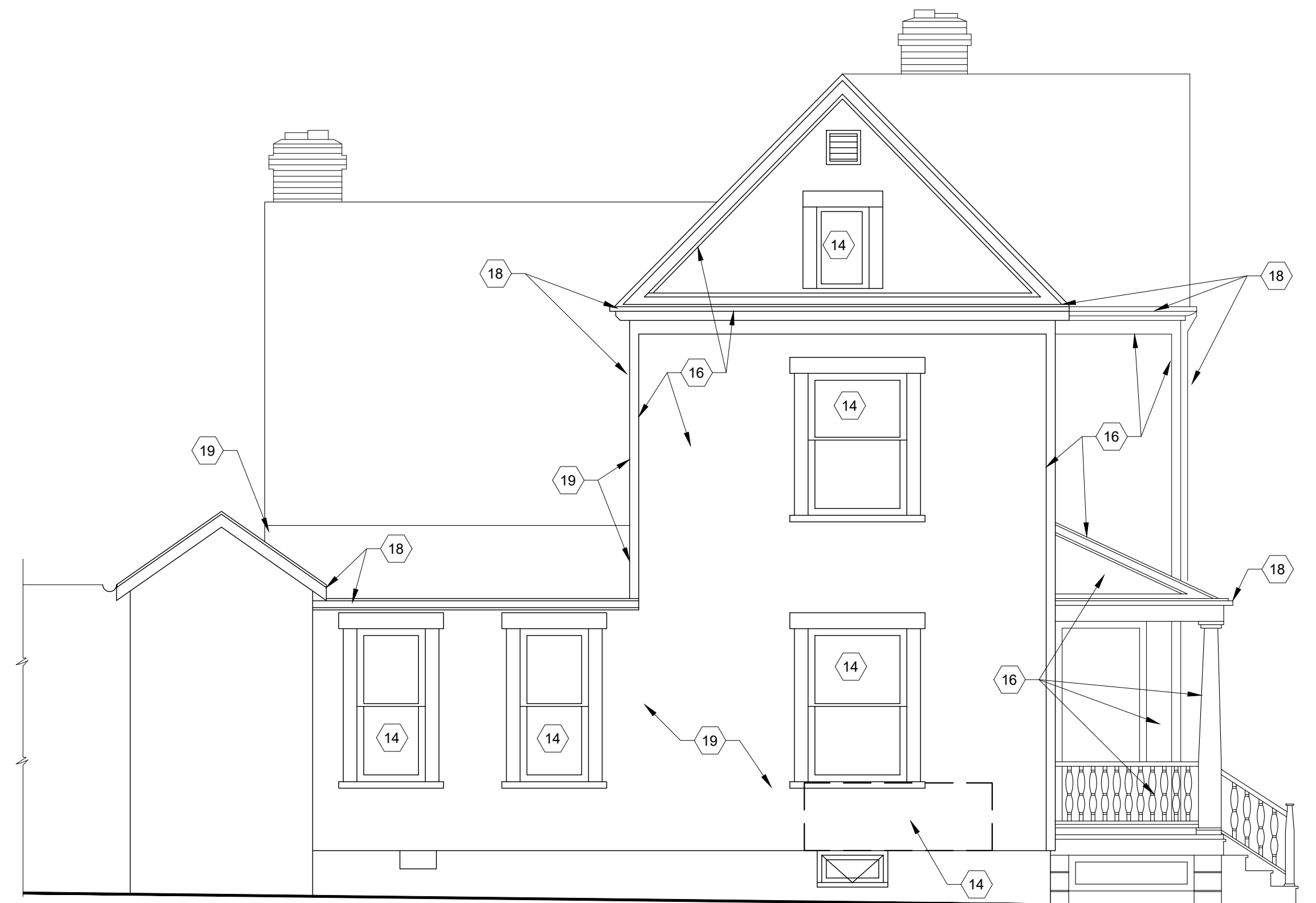
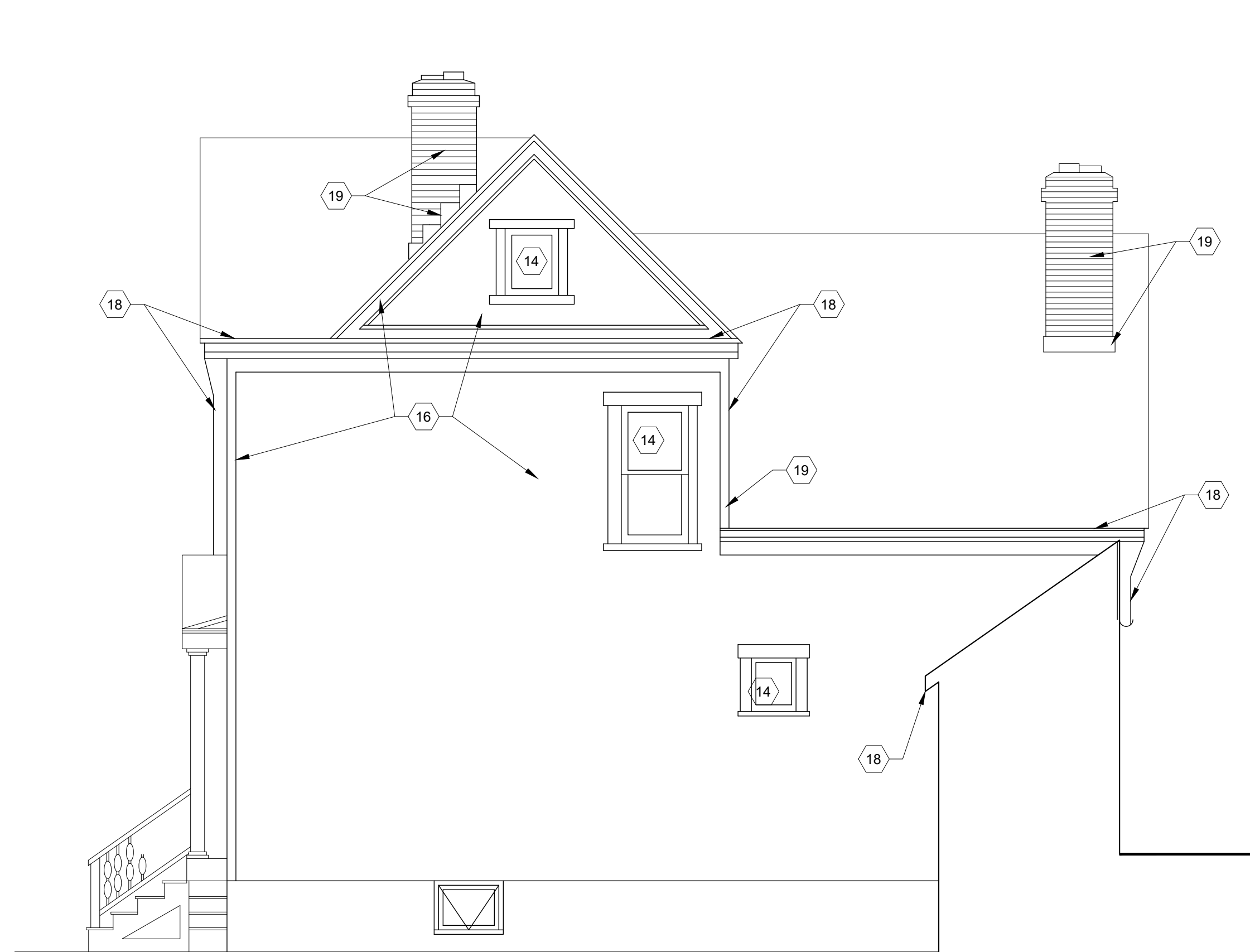
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LOCATIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING.
2. THE CONTRACTOR IS RESPONSIBLE TO REPAIR ALL DAMAGE DONE TO ALL EXISTING BRICK, STONE, SIDEWALKS, ASPHALT DRIVES, ETC. SURFACES WILL BE SURVEYED WITH ARCHITECT AT THE PRE-BID AND PRE-CONSTRUCTION MEETINGS. ALL EXISTING DAMAGE PRIOR TO START OF PROJECT WILL BE RECORDED BY THE ARCHITECT AND DAMAGE INCURRED WILL BE REPAIRED BY THE CONTRACTOR PRIOR TO THE CONCLUSION OF THE PROJECT.
3. THE CONTRACTOR IS RESPONSIBLE TO REPAIR ALL EXISTING GRASS, PLANTINGS, DRAINAGE SYSTEM, ETC. EXISTING CONDITIONS / SYSTEMS WILL BE SURVEYED WITH THE ARCHITECT AT THE PRE-BID AND PRE-CONSTRUCTION MEETINGS. ALL EXISTING CONDITIONS PRIOR TO START OF PROJECT WILL BE RECORDED AND DAMAGE INCURRED IN THE CONSTRUCTION PROCESS WILL BE REPAIRED BY THE CONTRACTOR BEFORE THE CONCLUSION OF THE PROJECT (TYPICAL). ALL GRASS AREAS WILL BE REPAIRED WITH SEED. (PER SPECIFICATION.)
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE, MAINTAIN AND REMOVE ALL PROTECTION DEVICES, INCLUDING BUT NOT LIMITED TO: SIGNS, BARRICADES, OVERHEAD PROTECTION, ETC. PRIOR TO PROJECT COMPLETION.
5. CONTRACTOR SHALL REMOVE RUBBISH AND DEBRIS TO CONTAINER AREA DAILY. ACCUMULATION OF RUBBISH LONGER THAN 24 HOURS IN ANY AREA OTHER THAN THE DESIGNATED CONTAINER AREA IS NOT PERMITTED.
6. IT IS THE RESPONSIBILITY OF EACH CONTRACTOR TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
7. THE INTENT OF THE WORK IN THESE CONSTRUCTION DOCUMENTS IS TO PROVIDE AN END RESULT WHEREIN THE FINISHES, MASONRY, CARPENTRY, AND ALL ACCESSORIES, ETC. ARE INSTALLED WITH SUFFICIENT QUALITY AND CRAFTSMANSHIP TO PROVIDE AN INSTALLATION COMPLETE IN ALL RESPECTS.
8. THE ARCHITECT / OWNER IS NOT ENGAGED IN AND DOES NOT SUPERVISE CONSTRUCTION.
9. REFER TO SPECIFICATION FOR ALL MATERIAL TYPES AND METHODS OF REMOVAL AND INSTALLATION.
10. OHC ARCHAEOLOGIST MUST BE ON SITE FOR ANY GROUND DISTURBANCE. ANY GROUND WORK REQUIRING THE PRESENCE OF AN ARCHAEOLOGIST REQUIRES A 1-WEEK ADVANCED NOTICE.

NEW WORK CODED NOTES

1. BASE BID - REPAIR AND REPOINT CHIMNEYS, EXTERIOR AND INTERIOR IN ATTIC. DAMAGED/MISSING BRICK TO BE REPLACED WITH HISTORIC SALVAGED BRICK WHICH MUST BE APPROVED BY RESTORATION COORDINATOR PRIOR TO INSTALLATION. CAP CHIMNEYS, SEAL AROUND MODERN HVAC VENT. SEE DETAIL 3/A-6 AND REFER TO SPECIFICATIONS. REPLACE SEALANT AROUND PERIMETER OF WINDOW FRAME, COLOR TO MATCH BRICK.
2. BASE BID - REPAIR AND REPOINT EXTERIOR WALLS (ALL FLOORS) UNLESS NOTED OTHERWISE (SEE NOTE 4), INCLUDING FOUNDATION TO GRADE. GROUT REMOVAL SAMPLE TO BE APPROVED BY OWNER PRIOR TO WORK. DAMAGED/MISSING DELAMINATED BRICK TO BE REPLACED WITH HISTORIC SALVAGED BRICK WHICH MUST BE APPROVED BY RESTORATION COORDINATOR PRIOR TO INSTALLATION. REFER TO SPECIFICATIONS.
3. BASE BID - UNDER PORCH ONLY. SPOT REPOINT AREAS OF NON-ORIGINAL MORTAR AND VOIDS. REFER TO SPECIFICATIONS.
4. BASE BID - REPAIR CUT IN WALL. REPLACE CUT/DAMAGED/NON-ORIGINAL BRICKS WITH HISTORIC SALVAGED BRICK AS NECESSARY. RESTORATION COORDINATOR MUST APPROVE REPLACEMENT BRICK. REFER TO CODED NOTE 2 AND REPAIR SCHEDULE IN SPECIFICATIONS.
5. ALT 1 - REPOINT INTERIOR FACE OF EXTERIOR BASEMENT WALLS.
6. ALTERNATE 1 - FILL IN HOLE IN MASONRY WALL WITH MATCHING BRICK.
7. ALTERNATE 2 - REMOVE EXTERIOR STORMS. SPOT RE-GLAZE WINDOWS (ALL FLOORS) AS NEEDED. HAND SCRABE LOOSE PAINT, PRIME BARE WOOD, AND PAINT WOOD AND SEALANT PER SPECIFICATIONS.
8. ALTERNATE 2 - PAINT RIDGE AND VALLEYS, SECURE LOOSE PIECES. REFER TO SPECIFICATIONS.
9. ALTERNATE 2 - HAND SCRABE LOOSE PAINT, PRIME BARE WOOD, AND PAINT PER SPECIFICATIONS.
10. ALTERNATE 2 - REPLACE RUSTED NAILS WITH STAINLESS STEEL FINISH NAILS. REPLACE ROTTEN BOARDS, PAINT FLOOR BOARDS AND IRONWORK PER PAINT SCHEDULE. REFER TO SPECIFICATIONS.
11. ALTERNATE 4 - REMOVE AND REPLACE KITCHEN ROOF WITH WOOD SHINGLE ROOF ON ICE AND WATERSHIELD THROUGHOUT. REFER TO DETAIL 3/A-6.
12. ALTERNATE 4 - REPLACE COUNTER FLASHING AT PORCH AND CHIMNEYS, REFER TO DETAIL 1/A-6.
13. ALTERNATE 4 - REPLACE MISSING SLATE SHINGLES USING STOCK PROVIDED BY OWNER.
14. ALTERNATE 4 - COLE AND MUNDHEE HOUSES: SPOT RE-GLAZE WINDOWS (ALL FLOORS) AS NEEDED. HAND SCRABE LOOSE PAINT, PRIME BARE WOOD, AND PAINT PER SPECIFICATIONS.
15. ALTERNATE 5 - COLE AND MUNDHEE HOUSES: REPAIR WOOD SIDING AND TRIM, REFER TO REPAIR SCHEDULE IN SPECIFICATIONS FOR SPECIFIC TREATMENTS.
16. ALTERNATE 5 - COLE AND MUNDHEE HOUSES: HAND SCRABE LOOSE PAINT, LIGHTLY FEATHER, PRIME BARE WOOD, AND PAINT PER SPECIFICATIONS.
17. ALTERNATE 7 - REPLACE GUTTERS AND DOWNSPOUTS AT DUNBAR HOUSE, PROFILE AND SIZE TO MATCH EXISTING. PAINT PER SPECIFICATIONS.
18. ALTERNATE 7 - REPLACE GUTTERS AND DOWNSPOUTS AT COLE/MUNDHEE WITH 5" HALF ROUND ALUMINUM GUTTERS AND 3" ROUND ALUMINUM DOWNSPOUTS. INSTALL PER MANUFACTURER'S DETAILS. PAINT PER SPECIFICATIONS.
19. ALTERNATE 8 - COLE/MUNDHEE HOUSES: REPLACE COUNTER-FLASHING AND SEALANT. SPOT REPOINT AND CAP CHIMNEYS. SEE DETAILS 1 AND 2 ON SHEET A-6. REPAIR/REPLACE

No.	Description	Date

OHIO HISTORY CONNECTION 800 EAST 17TH AVENUE, COLUMBUS, OHIO 43211		
DUNBAR HOUSE EXTERIOR RESTORATION		
ELEVATIONS		
Drawn by: SV	Checked by: BAM	OHS Project No.
Date: 3/1/24	Issue Date	CP2236

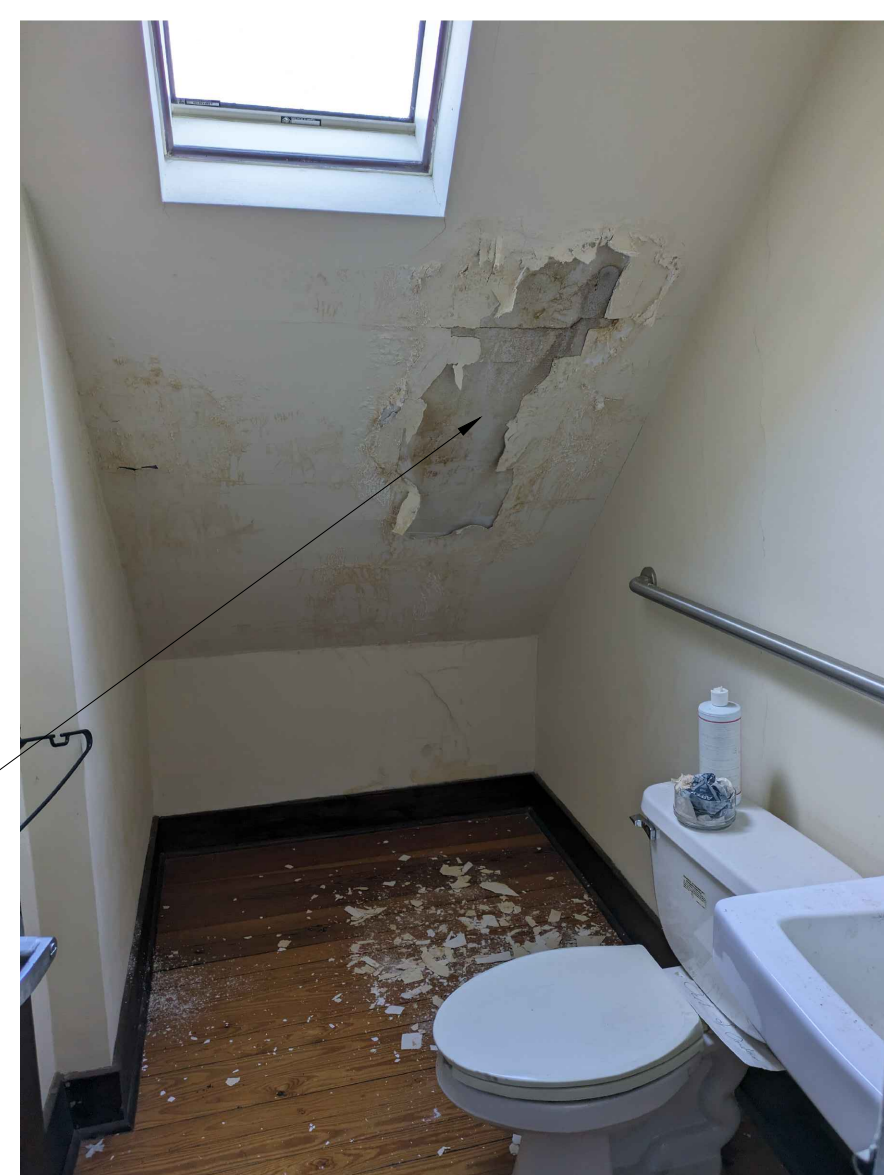


3 COLE WEST ELEVATION
SCALE: 1/4" = 1'-0"

2 COLE EAST ELEVATION
SCALE: 1/4" = 1'-0"



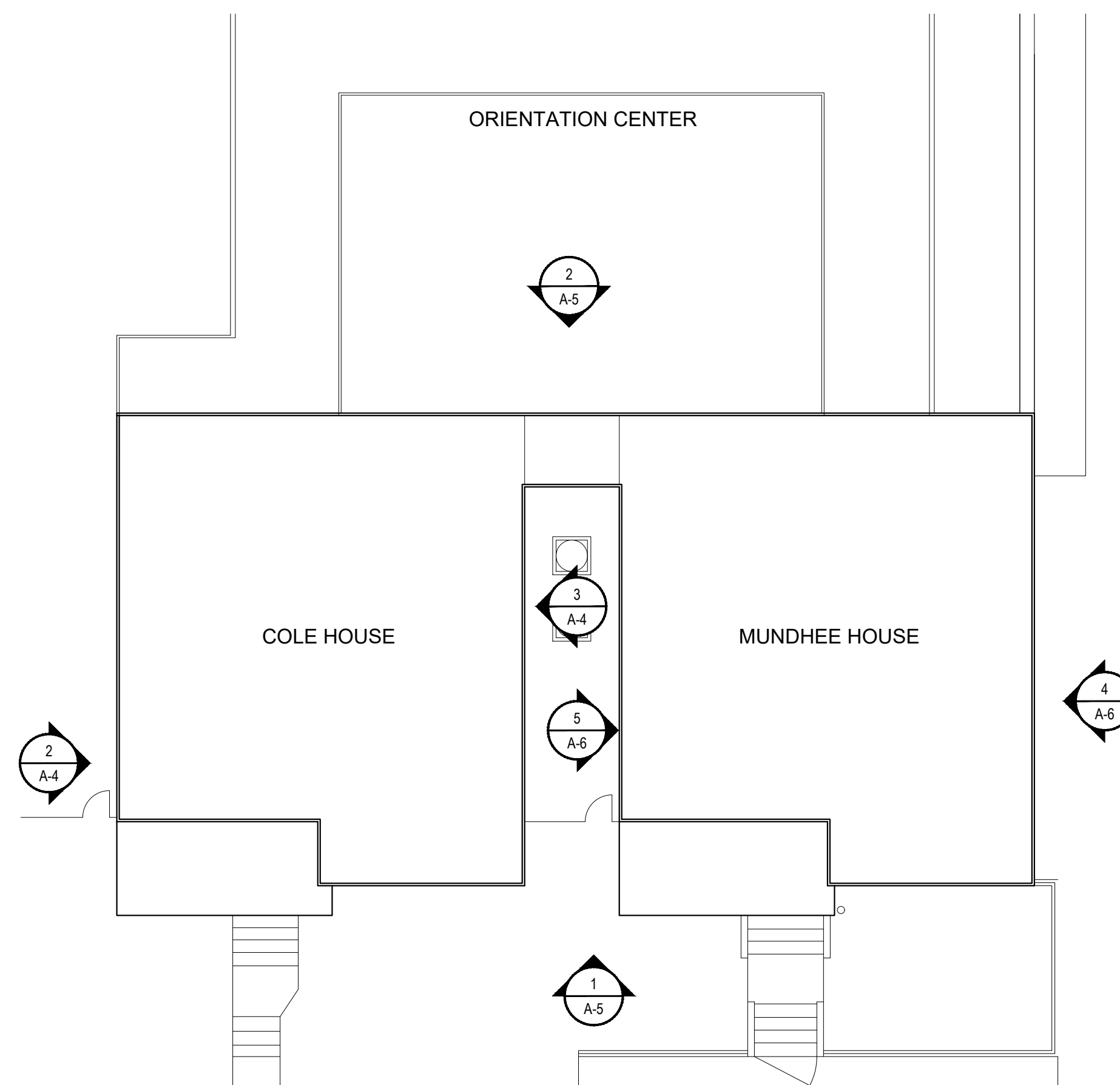
WEST WALL, WEST ROOM, 2ND FLOOR



NORTH WALL, BATHROOM, 2ND FLOOR

4 PLASTER DAMAGE - COLE HOUSE
SCALE: NTS

REPAIR PLASTER,
PRIME AND PAINT
TO MATCH EXISTING
ADJACENT.



1 LOCATOR PLAN
SCALE: 1/8" = 1'-0"



GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LOCATIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE TO REPAIR ALL DAMAGE DONE TO ALL EXISTING BRICK, STONE, SIDEWALKS, ASPHALT DRIVES, ETC. SURFACES WILL BE SURVEYED WITH ARCHITECT AT THE PRE-BID AND PRE-CONSTRUCTION MEETINGS. ALL EXISTING DAMAGE PRIOR TO START OF PROJECT WILL BE RECORDED BY THE ARCHITECT AND DAMAGE INCURRED WILL BE REPAIRED BY THE CONTRACTOR PRIOR TO THE CONCLUSION OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE TO REPAIR ALL EXISTING GRASS, PLANTINGS, DRAINAGE SYSTEM, ETC. EXISTING CONDITIONS / SYSTEMS WILL BE SURVEYED WITH THE ARCHITECT AT THE PRE-BID AND PRE-CONSTRUCTION MEETINGS. ALL EXISTING CONDITIONS PRIOR TO START OF PROJECT WILL BE RECORDED AND DAMAGE INCURRED IN THE CONSTRUCTION PROCESS WILL BE REPAIRED BY THE CONTRACTOR BEFORE THE CONCLUSION OF THE PROJECT (TYPICAL). ALL GRASS AREAS WILL BE REPAIRED WITH SEED, (PER SPECIFICATION.)
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE, MAINTAIN AND REMOVE ALL PROTECTION DEVICES, INCLUDING BUT NOT LIMITED TO: SIGNS, BARRICADES, OVERHEAD PROTECTION, ETC. PRIOR TO PROJECT COMPLETION.
- CONTRACTOR SHALL REMOVE RUBBISH AND DEBRIS TO CONTAINER AREA DAILY. ACCUMULATION OF RUBBISH LONGER THAN 24 HOURS IN ANY AREA OTHER THAN THE DESIGNATED CONTAINER AREA IS NOT PERMITTED.
- IT IS THE RESPONSIBILITY OF EACH CONTRACTOR TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
- THE INTENT OF THE WORK IN THESE CONSTRUCTION DOCUMENTS IS TO PROVIDE AN END RESULT WHEREIN THE FINISHES, MASONRY, CARPENTRY, AND ALL ACCESSORIES, ETC. ARE INSTALLED WITH SUFFICIENT QUALITY AND CRAFTSMANSHIP TO PROVIDE AN INSTALLATION COMPLETE IN ALL RESPECTS.
- THE ARCHITECT / OWNER IS NOT ENGAGED IN AND DOES NOT SUPERVISE CONSTRUCTION.
- REFER TO SPECIFICATION FOR ALL MATERIAL TYPES AND METHODS OF REMOVAL AND INSTALLATION.
- OHC ARCHAEOLOGIST MUST BE ON SITE FOR ANY GROUND DISTURBANCE. ANY GROUND WORK REQUIRING THE PRESENCE OF AN ARCHAEOLOGIST REQUIRES A 1-WEEK ADVANCED NOTICE.

NEW WORK CODED NOTES

- BASE BID - REPAIR AND REPOINT CHIMNEYS, EXTERIOR AND INTERIOR IN ATTIC. DAMAGED/MISSING BRICK TO BE REPLACED WITH HISTORIC SALVAGED BRICK WHICH MUST BE APPROVED BY RESTORATION COORDINATOR PRIOR TO INSTALLATION. CAP CHIMNEYS, SEAL AROUND MODERN HVAC VENT. SEE DETAIL 3/A-6 AND REFER TO SPECIFICATIONS. REPLACE SEALANT AROUND PERIMETER OF WINDOW FRAME, COLOR TO MATCH BRICK.
- BASE BID - REPAIR AND REPOINT EXTERIOR WALLS (ALL FLOORS) UNLESS NOTED OTHERWISE (SEE NOTE 4), INCLUDING FOUNDATION TO GRADE. GROUT REMOVAL SAMPLE TO BE APPROVED BY OWNER PRIOR TO WORK. DAMAGED/MISSING DELAMINATED BRICK TO BE REPLACED WITH HISTORIC SALVAGED BRICK WHICH MUST BE APPROVED BY RESTORATION COORDINATOR PRIOR TO INSTALLATION. REFER TO SPECIFICATIONS.
- BASE BID - UNDER PORCH ONLY. SPOT REPOINT AREAS OF NON-ORIGINAL MORTAR AND VOIDS. REFER TO SPECIFICATIONS.
- BASE BID - REPAIR CUT IN WALL. REPLACE CUT/DAMAGED/NON-ORIGINAL BRICKS WITH HISTORIC SALVAGED BRICK AS NECESSARY. RESTORATION COORDINATOR MUST APPROVE REPLACEMENT BRICK. REFER TO CODED NOTE 2 AND REPAIR SCHEDULE IN SPECIFICATIONS.
- ALT 1 - REPOINT INTERIOR FACE OF EXTERIOR BASEMENT WALLS.
- ALTERNATE 1 - FILL IN HOLE IN MASONRY WALL WITH MATCHING BRICK.
- ALTERNATE 2 - REMOVE EXTERIOR STORMS. SPOT RE-GLAZE WINDOWS (ALL FLOORS) AS NEEDED. HAND SCRAPE LOOSE PAINT, PRIME BARE WOOD, AND PAINT WOOD AND SEALANT PER SPECIFICATIONS.
- ALTERNATE 2 - PAINT RIDGE AND VALLEYS, SECURE LOOSE PIECES. REFER TO SPECIFICATIONS.
- ALTERNATE 2 - HAND SCRAPE LOOSE PAINT, PRIME BARE WOOD, AND PAINT PER SPECIFICATIONS.
- ALTERNATE 2 - REPLACE RUSTED NAILS WITH STAINLESS STEEL FINISH NAILS. REPLACE ROTTEN BOARDS, PAINT FLOOR BOARDS AND IRONWORK PER PAINT SCHEDULE. REFER TO SPECIFICATIONS.
- ALTERNATE 4 - REMOVE AND REPLACE KITCHEN ROOF WITH WOOD SHINGLE ROOF ON ICE AND WATERSHIELD THROUGHOUT. REFER TO DETAIL 3/A-6.
- ALTERNATE 4 - REPLACE COUNTER FLASHING AT PORCH AND CHIMNEYS, REFER TO DETAIL 1/A-6.
- ALTERNATE 4 - REPLACE MISSING SLATE SHINGLES USING STOCK PROVIDED BY OWNER.
- ALTERNATE 4 - COLE AND MUNDHEE HOUSES: SPOT RE-GLAZE WINDOWS (ALL FLOORS) AS NEEDED. HAND SCRAPE LOOSE PAINT, PRIME BARE WOOD, AND PAINT PER SPECIFICATIONS.
- ALTERNATE 5 - COLE AND MUNDHEE HOUSES: REPAIR WOOD SIDING AND TRIM, REFER TO REPAIR SCHEDULE IN SPECIFICATIONS FOR SPECIFIC TREATMENTS.
- ALTERNATE 5 - COLE AND MUNDHEE HOUSES: HAND SCRAPE LOOSE PAINT, LIGHTLY FEATHER, PRIME BARE WOOD, AND PAINT PER SPECIFICATIONS.
- ALTERNATE 7 - REPLACE GUTTERS AND DOWNSPOUTS AT DUNBAR HOUSE, PROFILE AND SIZE TO MATCH EXISTING. PAINT PER SPECIFICATIONS.
- ALTERNATE 7 - REPLACE GUTTERS AND DOWNSPOUTS AT COLE/MUNDHEE WITH 5" HALF ROUND ALUMINUM GUTTERS AND 3" ROUND ALUMINUM DOWNSPOUTS. INSTALL PER MANUFACTURER'S DETAILS. PAINT PER SPECIFICATIONS.
- ALTERNATE 8 - COLE/MUNDHEE HOUSES: REPLACE COUNTER-FLASHING AND SEALANT. SPOT REPOINT AND CAP CHIMNEYS. SEE DETAILS 1 AND 2 ON SHEET A-6. REPAIR/REPLACE

No.	Description	Date

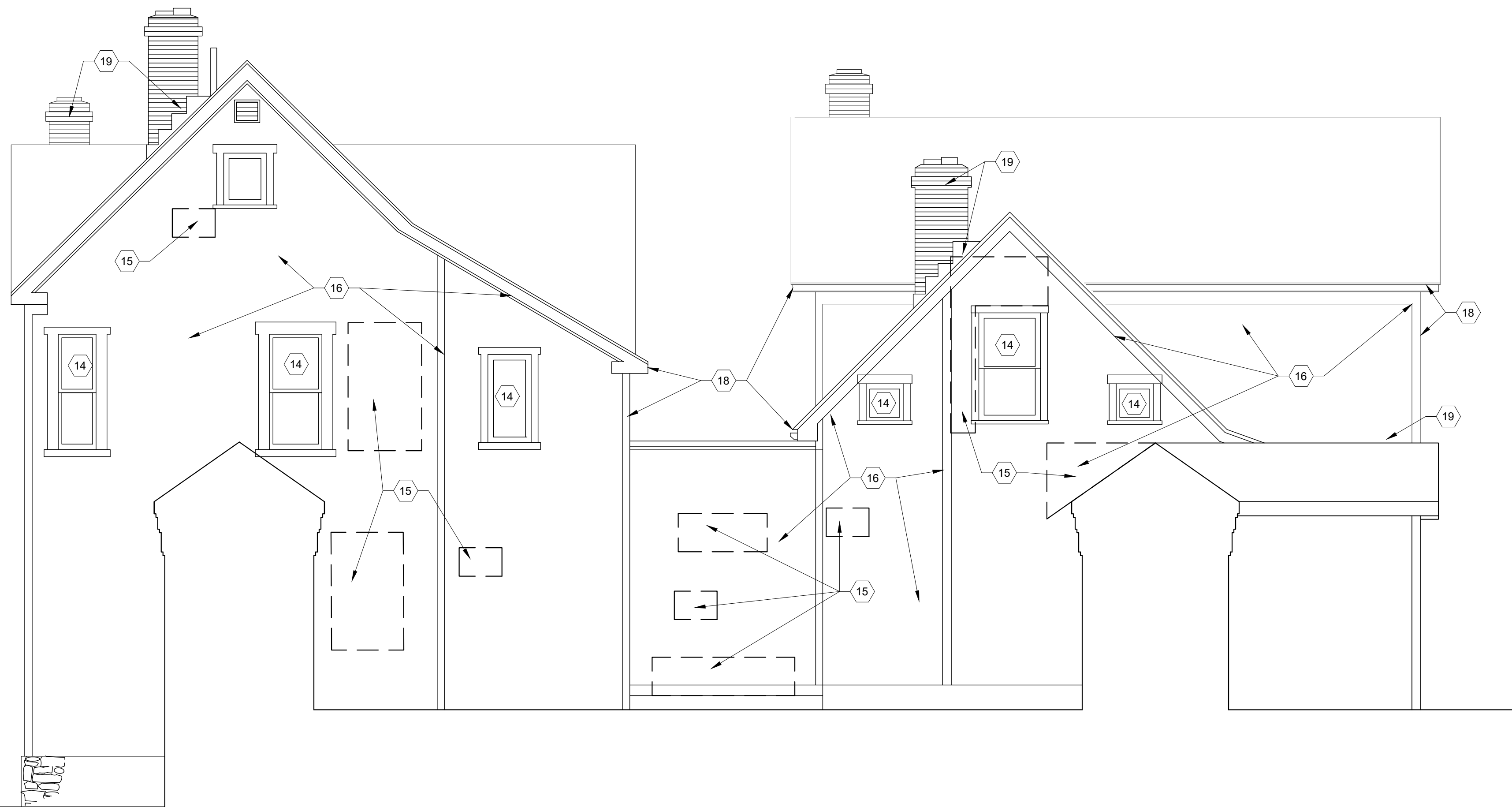
OHIO HISTORY CONNECTION
800 EAST 17TH AVENUE, COLUMBUS, OHIO 43211

DUNBAR HOUSE EXTERIOR RESTORATION

COLE ELEVATIONS

Drawn by: SV Checked by: BAM OHS Project No.
Date: 3/1/24 Issue Date CP2236

A-4



2 COLE/MUNDHEE SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



1 COLE/MUNDHEE NORTH ELEVATION

SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LOCATIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING.
2. THE CONTRACTOR IS RESPONSIBLE TO REPAIR ALL DAMAGE DONE TO ALL EXISTING BRICK, STONE, SIDEWALKS, ASPHALT DRIVES, ETC. SURFACES WILL BE SURVEYED WITH ARCHITECT AT THE PRE-BID AND PRE-CONSTRUCTION MEETINGS. ALL EXISTING DAMAGE PRIOR TO START OF PROJECT WILL BE RECORDED BY THE ARCHITECT AND DAMAGE INCURRED WILL BE REPAIRED BY THE CONTRACTOR PRIOR TO THE CONCLUSION OF THE PROJECT.
3. THE CONTRACTOR IS RESPONSIBLE TO REPAIR ALL DAMAGE TO ALL EXISTING GRASS, PLANTINGS, DRAINAGE SYSTEM, ETC. EXISTING CONDITIONS / SYSTEMS WILL BE SURVEYED WITH THE ARCHITECT AT THE PRE-BID AND PRE-CONSTRUCTION MEETINGS. ALL EXISTING CONDITIONS PRIOR TO START OF PROJECT WILL BE RECORDED AND DAMAGE INCURRED IN THE CONSTRUCTION PROCESS WILL BE REPAIRED BY THE CONTRACTOR BEFORE THE CONCLUSION OF THE PROJECT (TYPICAL). ALL GRASS AREAS WILL BE REPAIRED WITH SEED, (PER SPECIFICATION.)
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE, MAINTAIN AND REMOVE ALL PROTECTION DEVICES, INCLUDING BUT NOT LIMITED TO: SIGNS, BARRICADES, OVERHEAD PROTECTION, ETC. PRIOR TO PROJECT COMPLETION.
5. CONTRACTOR SHALL REMOVE RUBBISH AND DEBRIS TO CONTAINER AREA DAILY. ACCUMULATION OF RUBBISH LONGER THAN 24 HOURS IN ANY AREA OTHER THAN THE DESIGNATED CONTAINER AREA IS NOT PERMITTED.
6. IT IS THE RESPONSIBILITY OF EACH CONTRACTOR TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
7. THE INTENT OF THE WORK IN THESE CONSTRUCTION DOCUMENTS IS TO PROVIDE AN END RESULT WHEREIN THE FINISHES, MASONRY, CARPENTRY, AND ALL ACCESSORIES, ETC. ARE INSTALLED WITH SUFFICIENT QUALITY AND CRAFTSMANSHIP TO PROVIDE AN INSTALLATION COMPLETE IN ALL RESPECTS.
8. THE ARCHITECT / OWNER IS NOT ENGAGED IN AND DOES NOT SUPERVISE CONSTRUCTION.
9. REFER TO SPECIFICATION FOR ALL MATERIAL TYPES AND METHODS OF REMOVAL AND INSTALLATION.
10. OHC ARCHAEOLOGIST MUST BE ON SITE FOR ANY GROUND DISTURBANCE. ANY GROUND WORK REQUIRING THE PRESENCE OF AN ARCHAEOLOGIST REQUIRES A 1-WEEK ADVANCED NOTICE.

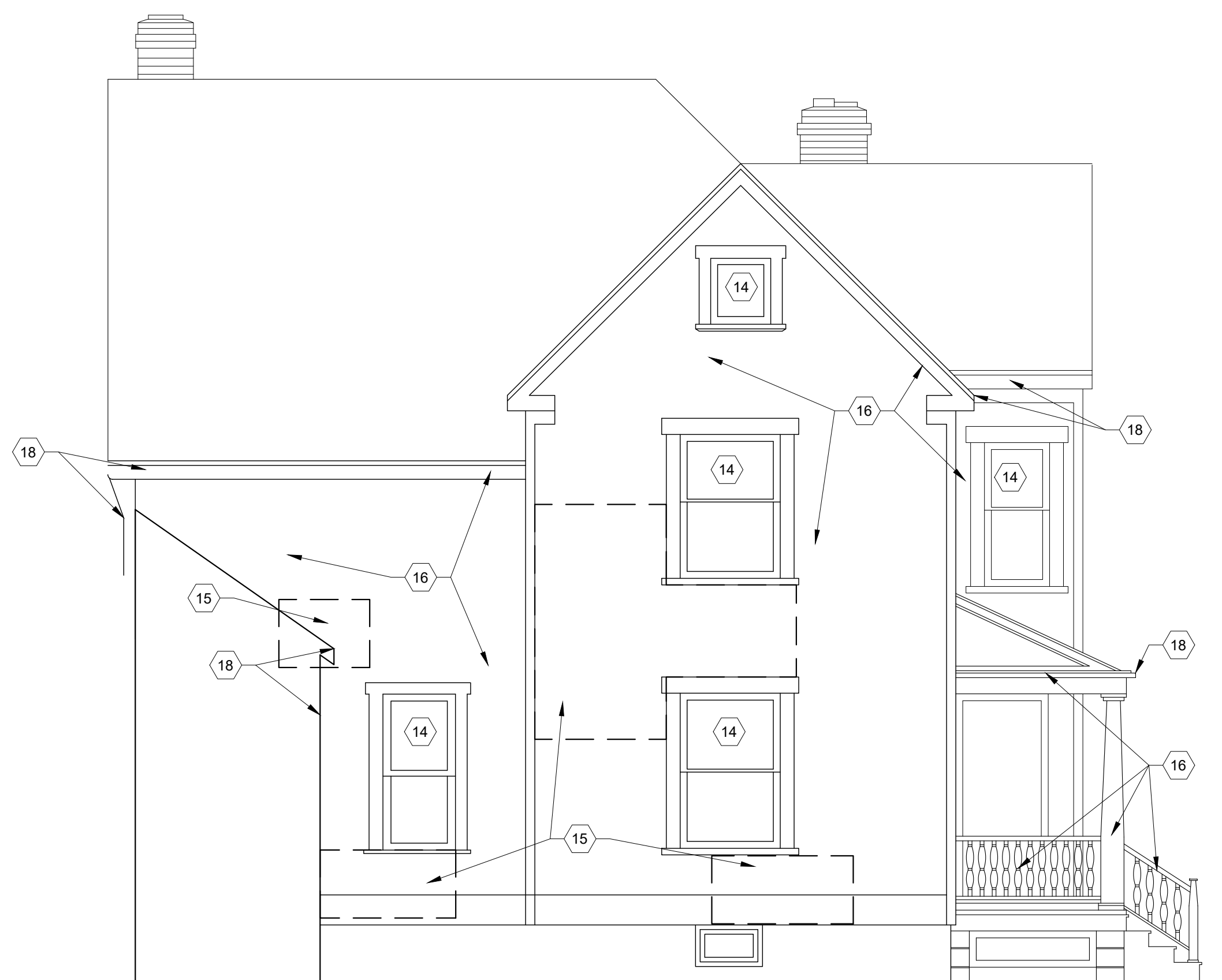
NEW WORK CODED NOTES

1. BASE BID - REPAIR AND REPOINT CHIMNEYS, EXTERIOR AND INTERIOR IN ATTIC. DAMAGED/MISSING BRICK TO BE REPLACED WITH HISTORIC SALVAGED BRICK WHICH MUST BE APPROVED BY RESTORATION COORDINATOR PRIOR TO INSTALLATION. CAP CHIMNEYS, SEAL AROUND MODERN HVAC VENT. SEE DETAIL 3/A-6 AND REFER TO SPECIFICATIONS. REPLACE SEALANT AROUND PERIMETER OF WINDOW FRAME, COLOR TO MATCH BRICK.
2. BASE BID - REPAIR AND REPOINT EXTERIOR WALLS (ALL FLOORS) UNLESS NOTED OTHERWISE (SEE NOTE 4), INCLUDING FOUNDATION TO GRADE. GROUT REMOVAL SAMPLE TO BE APPROVED BY OWNER PRIOR TO WORK. DAMAGED/MISSING DELAMINATED BRICK TO BE REPLACED WITH HISTORIC SALVAGED BRICK WHICH MUST BE APPROVED BY RESTORATION COORDINATOR PRIOR TO INSTALLATION. REFER TO SPECIFICATIONS.
3. BASE BID - UNDER PORCH ONLY. SPOT REPOINT AREAS OF NON-ORIGINAL MORTAR AND VOIDS. REFER TO SPECIFICATIONS.
4. BASE BID - REPAIR CUT IN WALL. REPLACE CUT/DAMAGED/NON-ORIGINAL BRICKS WITH HISTORIC SALVAGED BRICK AS NECESSARY. RESTORATION COORDINATOR MUST APPROVE REPLACEMENT BRICK. REFER TO CODED NOTE 2 AND REPAIR SCHEDULE IN SPECIFICATIONS.
5. ALT 1 - REPOINT INTERIOR FACE OF EXTERIOR BASEMENT WALLS.
6. ALTERNATE 1 - FILL IN HOLE IN MASONRY WALL WITH MATCHING BRICK.
7. ALTERNATE 2 - REMOVE EXTERIOR STORMS. SPOT RE-GLAZE WINDOWS (ALL FLOORS) AS NEEDED. HAND SCRABE LOOSE PAINT, PRIME BARE WOOD, AND PAINT WOOD AND SEALANT PER SPECIFICATIONS.
8. ALTERNATE 2 - PAINT RIDGE AND VALLEYS, SECURE LOOSE PIECES. REFER TO SPECIFICATIONS.
9. ALTERNATE 2 - HAND SCRABE LOOSE PAINT, PRIME BARE WOOD, AND PAINT PER SPECIFICATIONS.
10. ALTERNATE 2 - REPLACE RUSTED NAILS WITH STAINLESS STEEL FINISH NAILS. REPLACE ROTTEN BOARDS, PAINT FLOOR BOARDS AND IRONWORK PER PAINT SCHEDULE. REFER TO SPECIFICATIONS.
11. ALTERNATE 4 - REMOVE AND REPLACE KITCHEN ROOF WITH WOOD SHINGLE ROOF ON ICE AND WATERSHIELD THROUGHOUT. REFER TO DETAIL 3/A-6.
12. ALTERNATE 4 - REPLACE COUNTER FLASHING AT PORCH AND CHIMNEYS, REFER TO DETAIL 1/A-6.
13. ALTERNATE 4 - REPLACE MISSING SLATE SHINGLES USING STOCK PROVIDED BY OWNER.
14. ALTERNATE 4 - COLE AND MUNDHEE HOUSES: SPOT RE-GLAZE WINDOWS (ALL FLOORS) AS NEEDED. HAND SCRABE LOOSE PAINT, PRIME BARE WOOD, AND PAINT PER SPECIFICATIONS.
15. ALTERNATE 5 - COLE AND MUNDHEE HOUSES: REPAIR WOOD SIDING AND TRIM, REFER TO REPAIR SCHEDULE IN SPECIFICATIONS FOR SPECIFIC TREATMENTS.
16. ALTERNATE 5 - COLE AND MUNDHEE HOUSES: HAND SCRABE LOOSE PAINT, LIGHTLY FEATHER, PRIME BARE WOOD, AND PAINT PER SPECIFICATIONS.
17. ALTERNATE 7 - REPLACE GUTTERS AND DOWNSPOUTS AT DUNBAR HOUSE, PROFILE AND SIZE TO MATCH EXITING. PAINT PER SPECIFICATIONS.
18. ALTERNATE 7 - REPLACE GUTTERS AND DOWNSPOUTS AT COLE/MUNDHEE WITH 5" HALF ROUND ALUMINUM GUTTERS AND 3" ROUND ALUMINUM DOWNSPOUTS. INSTALL PER MANUFACTURER'S DETAILS. PAINT PER SPECIFICATIONS.
19. ALTERNATE 8 - COLE/MUNDHEE HOUSES: REPLACE COUNTER-FLASHING AND SEALANT. SPOT REPOINT AND CAP CHIMNEYS. SEE DETAILS 1 AND 2 ON SHEET A-6. REPAIR/REPLACE

No.	Description	Date

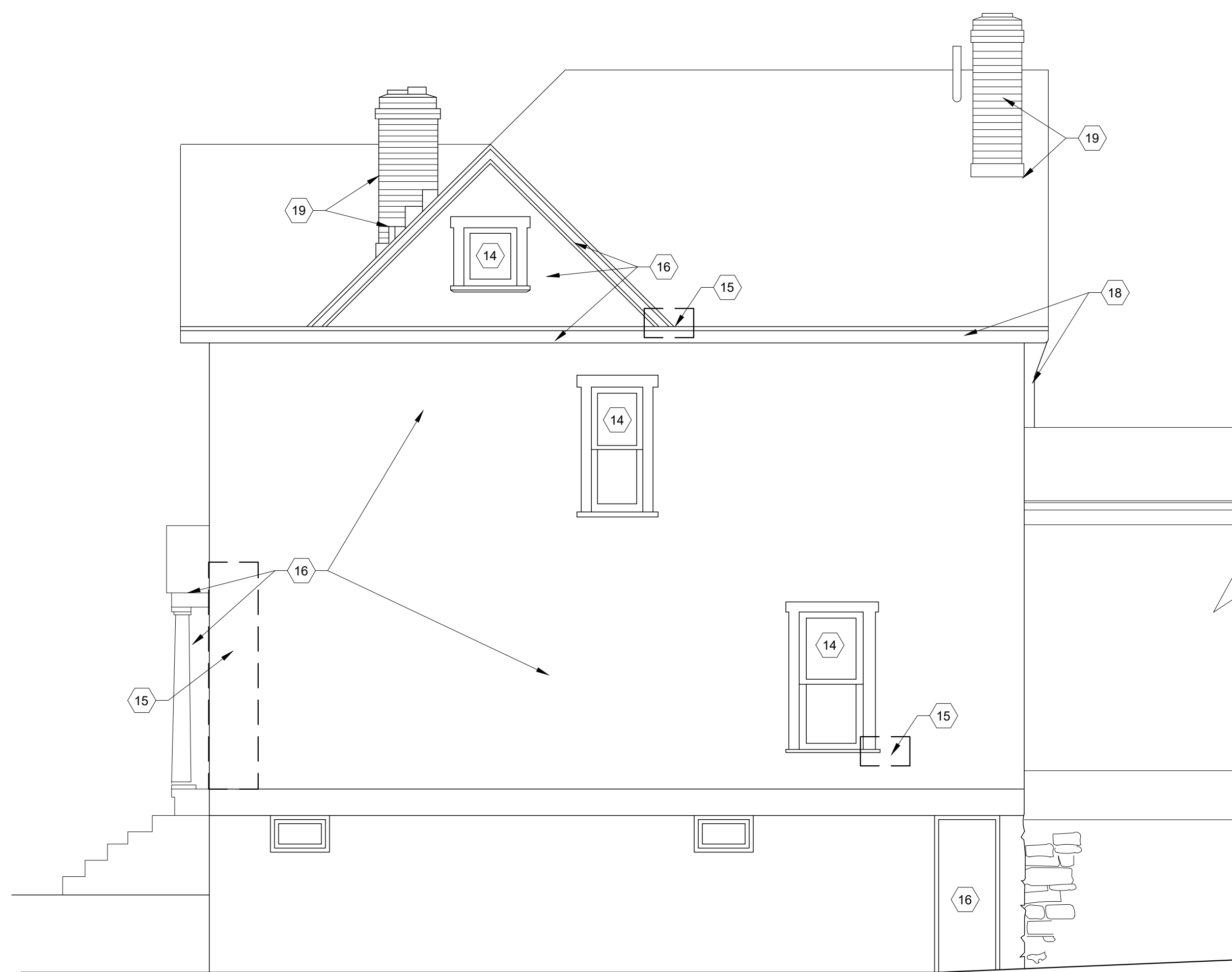
OHIO HISTORY CONNECTION		
800 EAST 17TH AVENUE, COLUMBUS, OHIO 43211		
DUNBAR HOUSE EXTERIOR RESTORATION		
ELEVATIONS		
Drawn by: SV	Checked by: BAM	OHS Project No.
Date: 3/1/24	Issue Date	CP2236

A-5



5 MUNDHEE WEST ELEVATION

SCALE: 1/4" = 1'-0"



4 MUNDHEE EAST ELEVATION

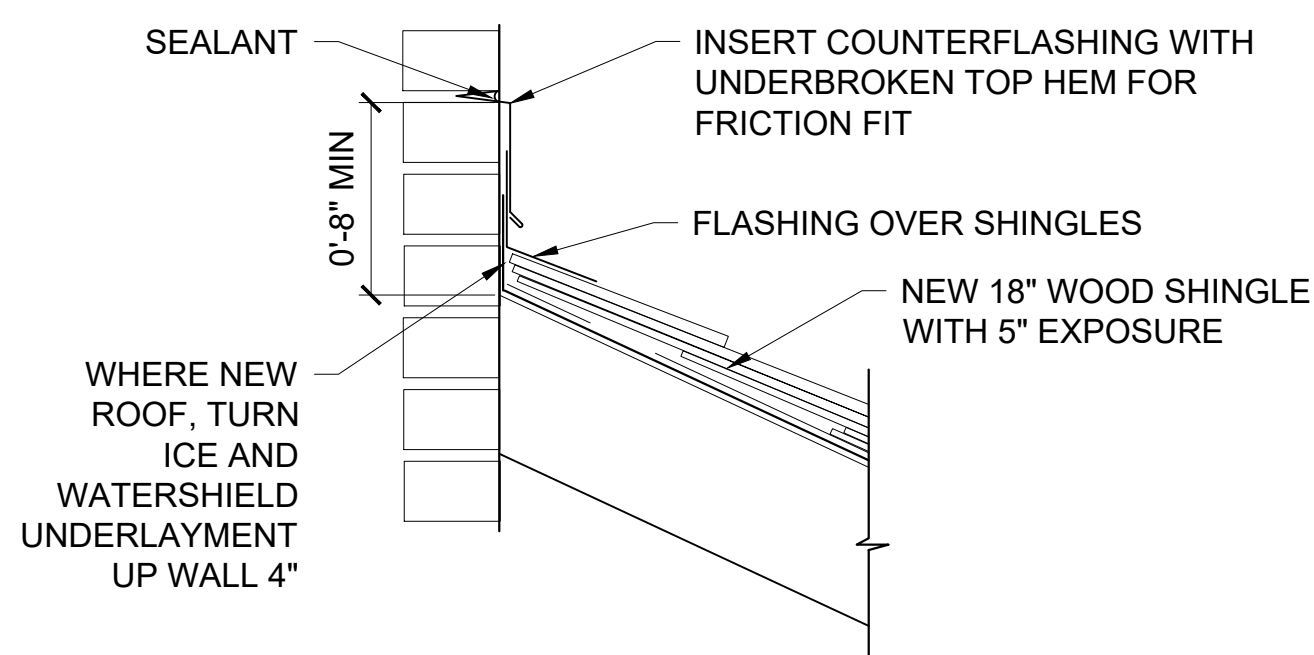
SCALE: 1/4" = 1'-0"

GENERAL NOTES

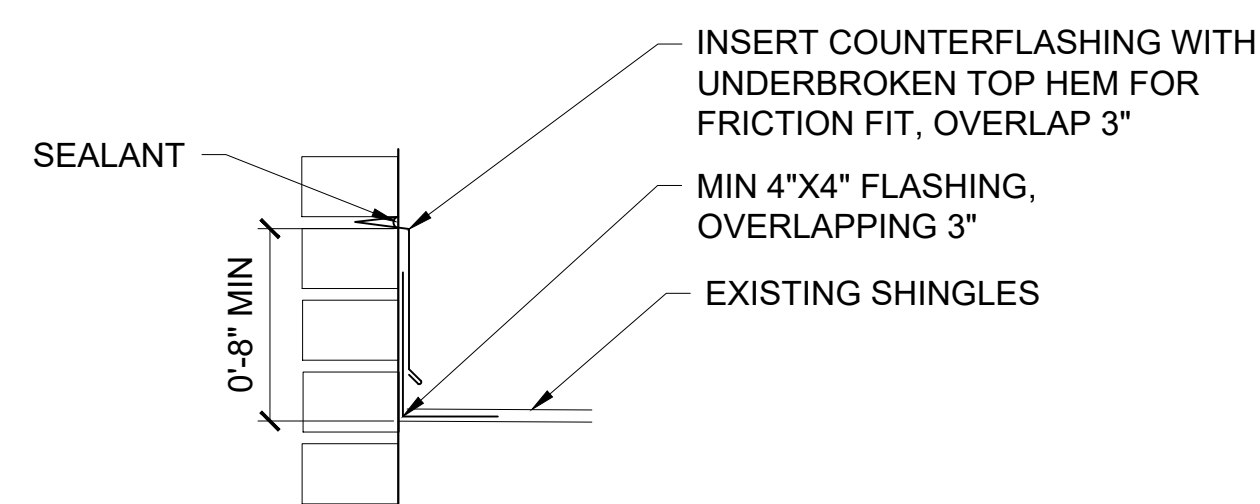
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LOCATIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE TO REPAIR ALL DAMAGE DONE TO ALL EXISTING BRICK, STONE, SIDEWALKS, ASPHALT DRIVES, ETC. SURFACES WILL BE SURVEYED WITH ARCHITECT AT THE PRE-BID AND PRE-CONSTRUCTION MEETINGS. ALL EXISTING DAMAGE PRIOR TO START OF PROJECT WILL BE RECORDED BY THE ARCHITECT AND DAMAGE INCURRED WILL BE REPAIRED BY THE CONTRACTOR PRIOR TO THE CONCLUSION OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE TO REPAIR ALL EXISTING GRASS, PLANTINGS, DRAINAGE SYSTEM, ETC. EXISTING CONDITIONS / SYSTEMS WILL BE SURVEYED WITH THE ARCHITECT AT THE PRE-BID AND PRE-CONSTRUCTION MEETINGS. ALL EXISTING CONDITIONS PRIOR TO START OF PROJECT WILL BE RECORDED AND DAMAGE INCURRED IN THE CONSTRUCTION PROCESS WILL BE REPAIRED BY THE CONTRACTOR BEFORE THE CONCLUSION OF THE PROJECT (TYPICAL). ALL GRASS AREAS WILL BE REPAIRED WITH SEED, (PER SPECIFICATION.)
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE, MAINTAIN AND REMOVE ALL PROTECTION DEVICES, INCLUDING BUT NOT LIMITED TO: SIGNS, BARRICADES, OVERHEAD PROTECTION, ETC. PRIOR TO PROJECT COMPLETION.
- CONTRACTOR SHALL REMOVE RUBBISH AND DEBRIS TO CONTAINER AREA DAILY. ACCUMULATION OF RUBBISH LONGER THAN 24 HOURS IN ANY AREA OTHER THAN THE DESIGNATED CONTAINER AREA IS NOT PERMITTED.
- IT IS THE RESPONSIBILITY OF EACH CONTRACTOR TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
- THE INTENT OF THE WORK IN THESE CONSTRUCTION DOCUMENTS IS TO PROVIDE AN END RESULT WHEREIN THE FINISHES, MASONRY, CARPENTRY, AND ALL ACCESSORIES, ETC. ARE INSTALLED WITH SUFFICIENT QUALITY AND CRAFTSMANSHIP TO PROVIDE AN INSTALLATION COMPLETE IN ALL RESPECTS.
- THE ARCHITECT / OWNER IS NOT ENGAGED IN AND DOES NOT SUPERVISE CONSTRUCTION.
- REFER TO SPECIFICATION FOR ALL MATERIAL TYPES AND METHODS OF REMOVAL AND INSTALLATION.
- OHC ARCHAEOLOGIST MUST BE ON SITE FOR ANY GROUND DISTURBANCE. ANY GROUND WORK REQUIRING THE PRESENCE OF AN ARCHAEOLOGIST REQUIRES A 1-WEEK ADVANCED NOTICE.

NEW WORK CODED NOTES

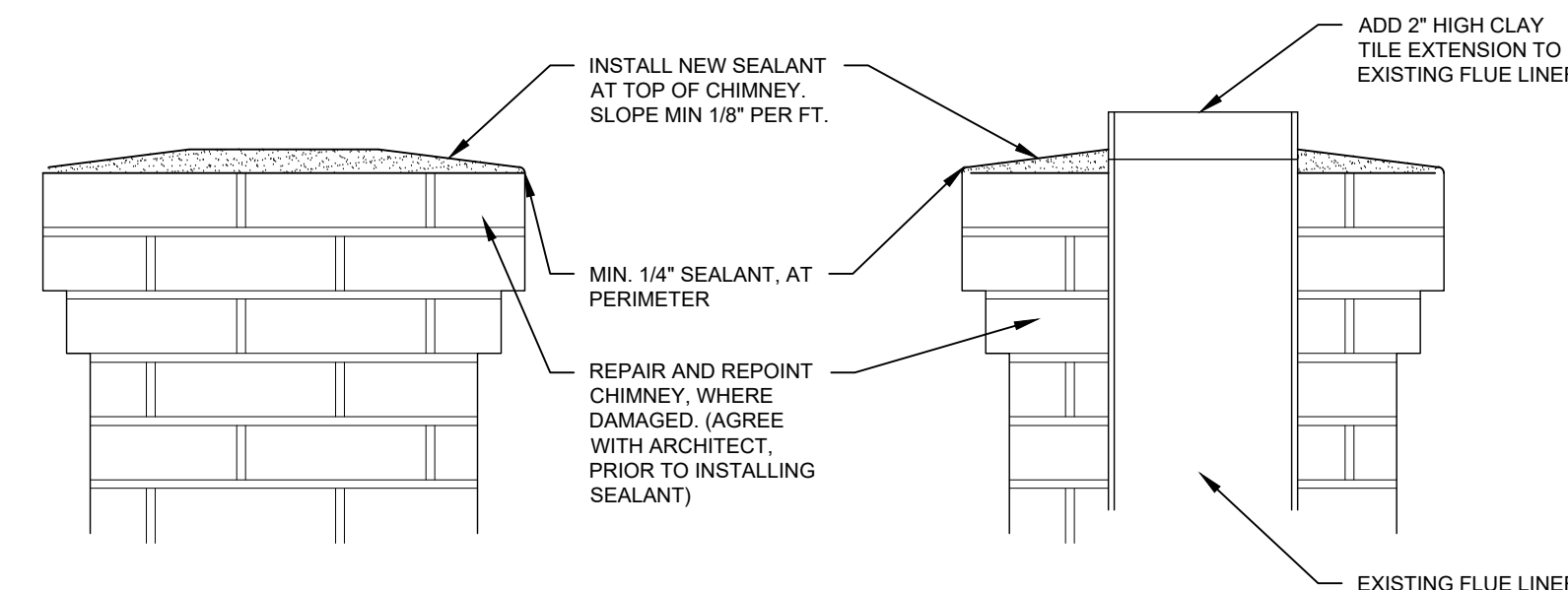
- BASE BID - REPAIR AND REPOINT CHIMNEYS, EXTERIOR AND INTERIOR IN ATTIC. DAMAGED/MISSING BRICK TO BE REPLACED WITH HISTORIC SALVAGED BRICK WHICH MUST BE APPROVED BY RESTORATION COORDINATOR PRIOR TO INSTALLATION. CAP CHIMNEYS, SEAL AROUND MODERN HVAC VENT. SEE DETAIL 3C/A-6 AND REFER TO SPECIFICATIONS. REPLACE SEALANT AROUND PERIMETER OF WINDOW FRAME, COLOR TO MATCH BRICK.
- BASE BID - REPAIR AND REPOINT EXTERIOR WALLS (ALL FLOORS) UNLESS NOTED OTHERWISE (SEE NOTE 4), INCLUDING FOUNDATION TO GRADE. GROUT REMOVAL SAMPLE TO BE APPROVED BY OWNER PRIOR TO WORK. DAMAGED/MISSING DELAMINATED BRICK TO BE REPLACED WITH HISTORIC SALVAGED BRICK WHICH MUST BE APPROVED BY RESTORATION COORDINATOR PRIOR TO INSTALLATION. REFER TO SPECIFICATIONS.
- BASE BID - UNDER PORCH ONLY. SPOT REPOINT AREAS OF NON-ORIGINAL MORTAR AND VOIDS. REFER TO SPECIFICATIONS.
- BASE BID - REPAIR CUT IN WALL. REPLACE CUT/DAMAGED/NON-ORIGINAL BRICKS WITH HISTORIC SALVAGED BRICK AS NECESSARY. RESTORATION COORDINATOR MUST APPROVE REPLACEMENT BRICK. REFER TO CODED NOTE 2 AND REPAIR SCHEDULE IN SPECIFICATIONS.
- ALT 1 - REPOINT INTERIOR FACE OF EXTERIOR BASEMENT WALLS.
- ALTERNATE 1 - FILL IN HOLE IN MASONRY WALL WITH MATCHING BRICK.
- ALTERNATE 2 - REMOVE EXTERIOR STORMS. SPOT RE-GLAZE WINDOWS (ALL FLOORS) AS NEEDED. HAND SCRAPE LOOSE PAINT, PRIME BARE WOOD, AND PAINT WOOD AND SEALANT PER SPECIFICATIONS.
- ALTERNATE 2 - PAINT RIDGE AND VALLEYS, SECURE LOOSE PIECES. REFER TO SPECIFICATIONS.
- ALTERNATE 2 - HAND SCRAPE LOOSE PAINT, PRIME BARE WOOD, AND PAINT PER SPECIFICATIONS.
- ALTERNATE 2 - REPLACE RUSTED NAILS WITH STAINLESS STEEL FINISH NAILS. REPLACE ROTTEN BOARDS, PAINT FLOOR BOARDS AND IRONWORK PER PAINT SCHEDULE. REFER TO SPECIFICATIONS.
- ALTERNATE 4 - REMOVE AND REPLACE KITCHEN ROOF WITH WOOD SHINGLE ROOF ON ICE AND WATERSHIELD THROUGHOUT. REFER TO DETAIL 3/A-6.
- ALTERNATE 4 - REPLACE COUNTER FLASHING AT PORCH AND CHIMNEYS, REFER TO DETAIL 1/A-6.
- ALTERNATE 4 - REPLACE MISSING SLATE SHINGLES USING STOCK PROVIDED BY OWNER.
- ALTERNATE 4 - COLE AND MUNDHEE HOUSES: SPOT RE-GLAZE WINDOWS (ALL FLOORS) AS NEEDED. HAND SCRAPE LOOSE PAINT, PRIME BARE WOOD, AND PAINT PER SPECIFICATIONS.
- ALTERNATE 5 - COLE AND MUNDHEE HOUSES: REPAIR WOOD SIDING AND TRIM, REFER TO REPAIR SCHEDULE IN SPECIFICATIONS FOR SPECIFIC TREATMENTS.
- ALTERNATE 5 - COLE AND MUNDHEE HOUSES: HAND SCRAPE LOOSE PAINT, LIGHTLY FEATHER, PRIME BARE WOOD, AND PAINT PER SPECIFICATIONS.
- ALTERNATE 7 - REPLACE GUTTERS AND DOWNSPOUTS AT DUNBAR HOUSE, PROFILE AND SIZE TO MATCH EXITING. PAINT PER SPECIFICATIONS.
- ALTERNATE 7 - REPLACE GUTTERS AND DOWNSPOUTS AT COLE/MUNDHEE WITH 5" HALF ROUND ALUMINUM GUTTERS AND 3" ROUND ALUMINUM DOWNSPOUTS. INSTALL PER MANUFACTURER'S DETAILS. PAINT PER SPECIFICATIONS.
- ALTERNATE 8 - COLE/MUNDHEE HOUSES: REPLACE COUNTER-FLASHING AND SEALANT. SPOT REPOINT AND CAP CHIMNEYS. SEE DETAILS 1 AND 2 ON SHEET A-6. REPAIR/REPLACE



C COUNTER-FLASHING AT BRICK WALL

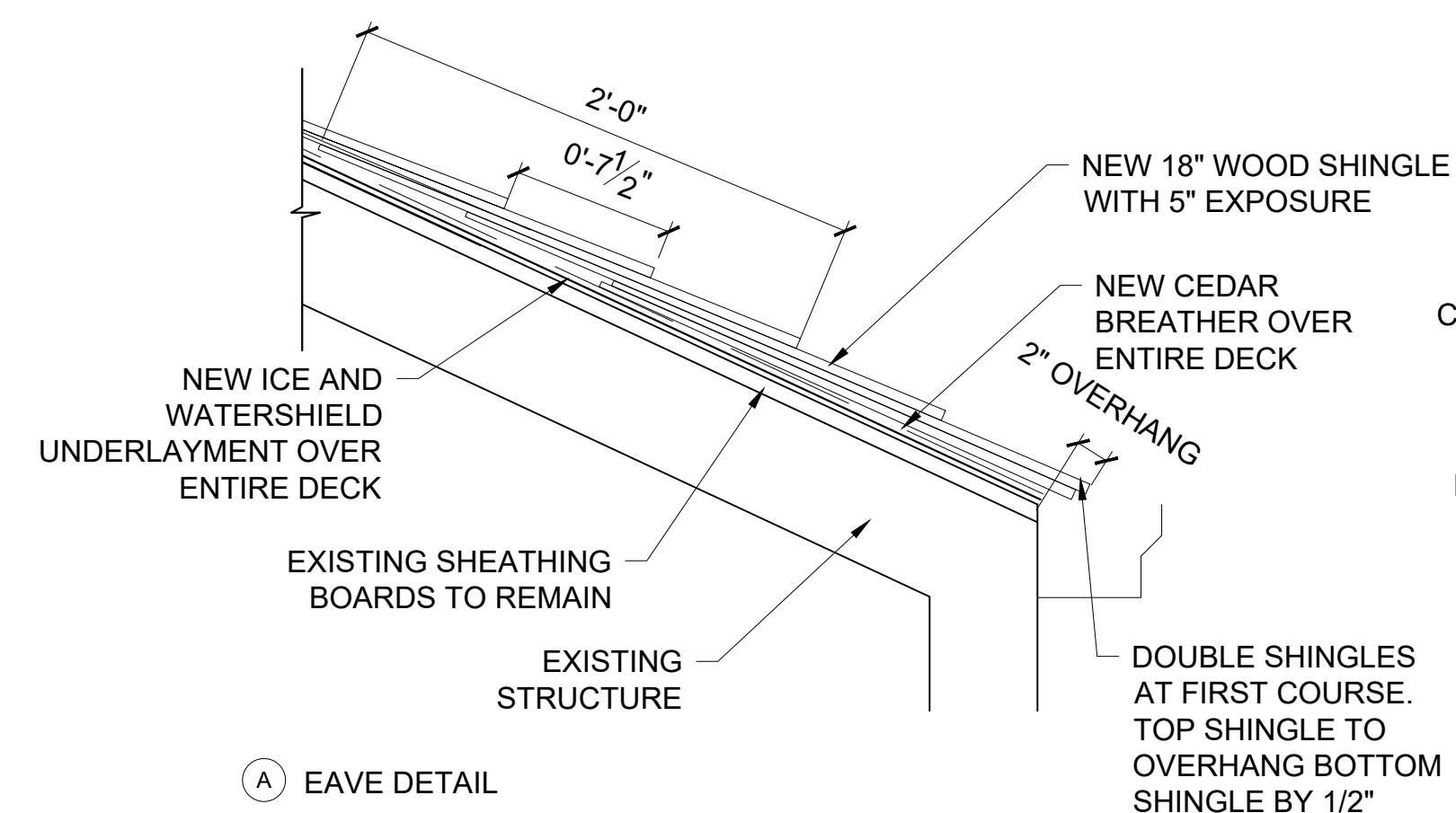


D STEPPED FLASHING AT CHIMNEYS

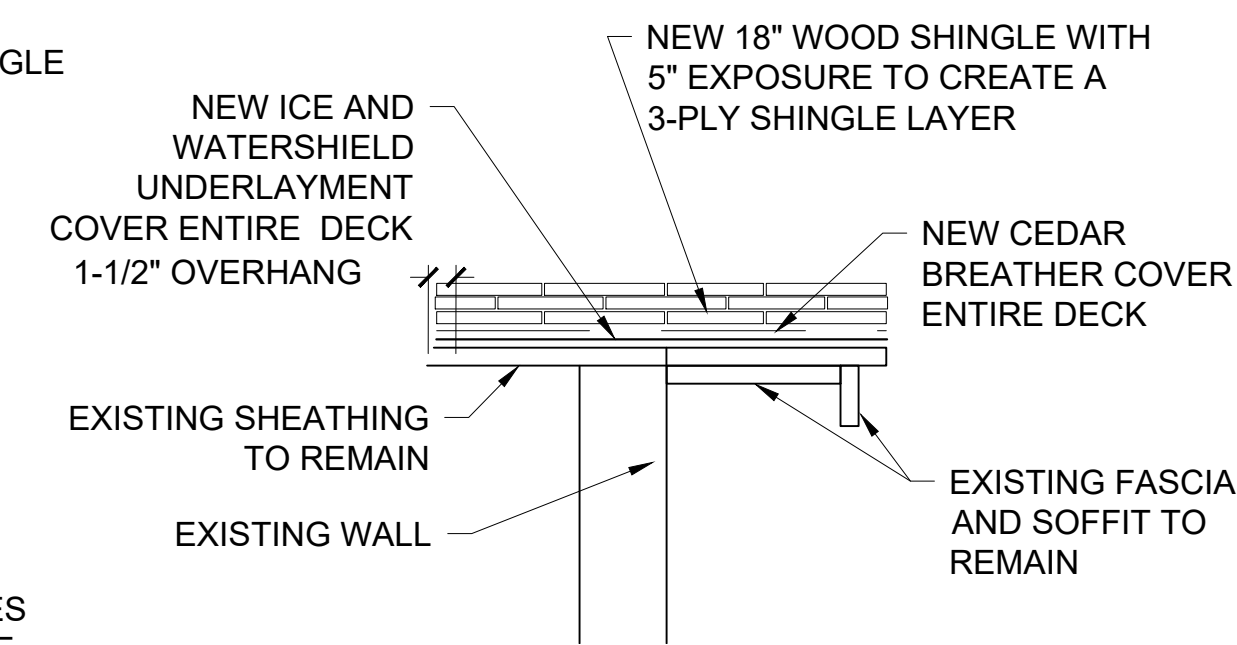


2 CHIMNEY CAP

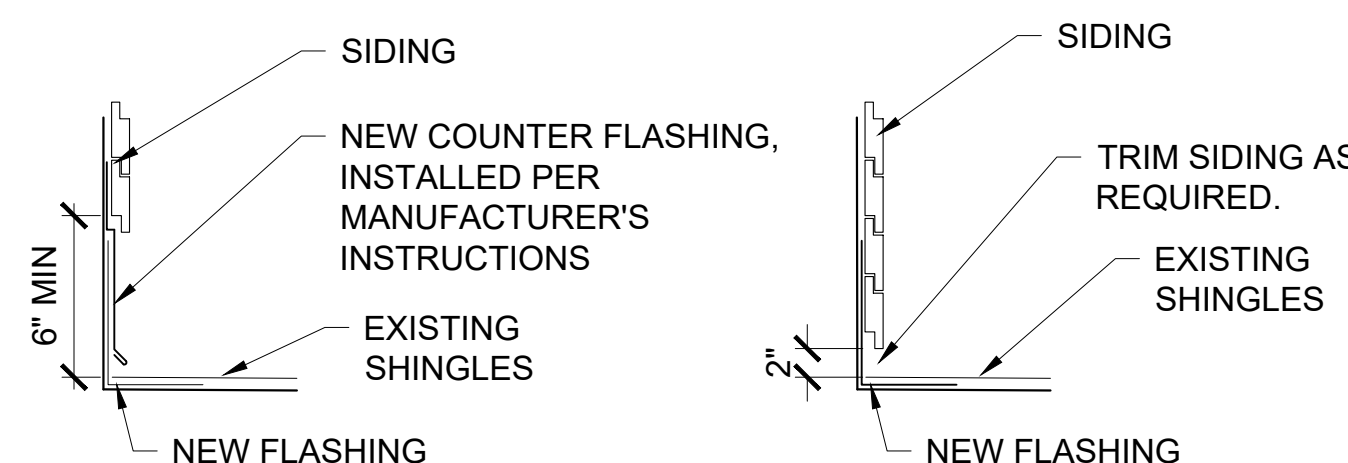
SCALE: 1-1/2" = 1'-0"



A EAVE DETAIL



B RAKE DETAIL



A WITH COUNTER FLASHING

B WITHOUT COUNTER FLASHING

1 FLASHING AT WOOD SIDING

SCALE: 1-1/2" = 1'-0"

** MATCH EXISTING CONDITION

3 ROOF DETAILS - DUNBAR HOUSE

SCALE: 1-1/2" = 1'-0"

No.	Description	Date

OHIO HISTORY CONNECTION
800 EAST 17TH AVENUE, COLUMBUS, OHIO 43211

DUNBAR HOUSE EXTERIOR RESTORATION

MUNDHEE ELEVATIONS

Drawn by: SV Checked by: BAM OHS Project No.
Date: 3/1/24 Issue Date CP2236

A-6